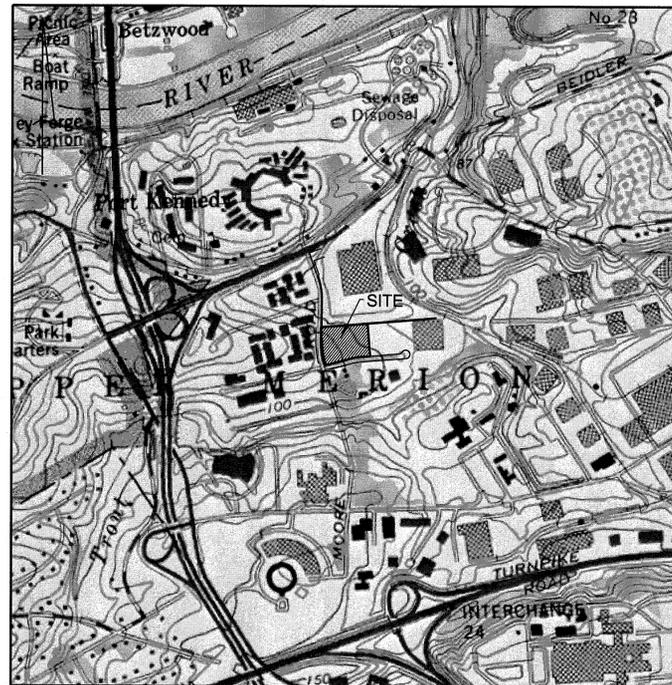


750 MOORE ROAD

AMENDED FINAL PLAN

TAX MAP PARCEL #58-27A-20
LECESSE MOORE ROAD, LLC



LOCATION MAP
SCALE: 1"=100'

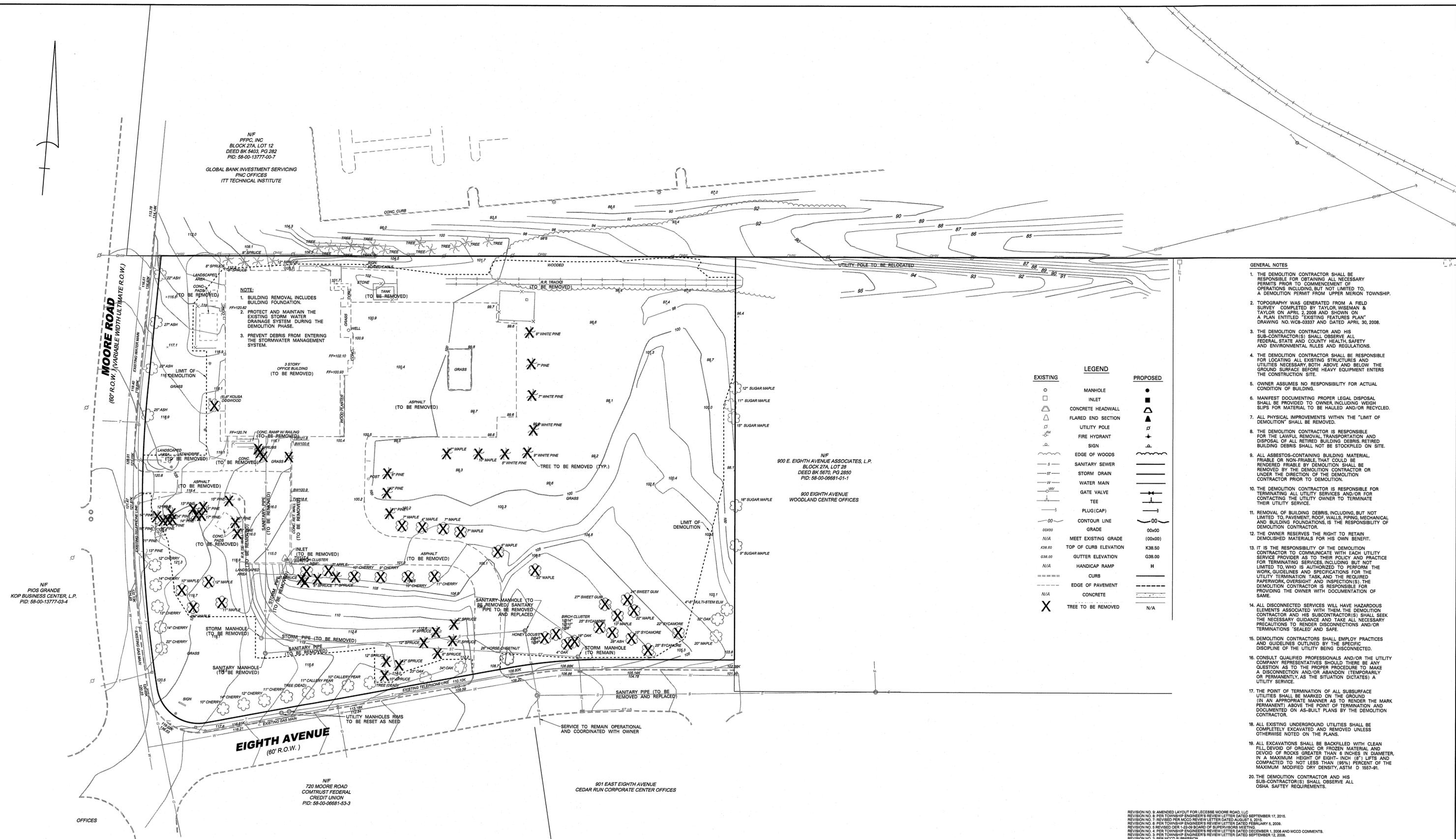
INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING FEATURES PLAN
3	DEMOLITION PLAN
4	SITE PLAN
5	PCSM GRADING PLAN
6	UTILITY PLAN
7	SOIL EROSION, SEDIMENT CONTROL AND DRAINAGE AREA PLAN
8	SOIL EROSION, SEDIMENT CONTROL DETAILS AND NOTES
9	LIGHTING PLAN
10	LANDSCAPING PLAN
11-12	PROFILES
13-14	PCSM CONSTRUCTION DETAILS
15	CONSTRUCTION DETAILS
16	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

REVISION NO. 8: AMENDED LAYOUT FOR LECESSÉ MOORE ROAD, LLC
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 REVISION NO. 1: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED JULY 10, 2008.

DESIGNED:	DRAWN:	CHECKED:	TITLE SHEET				
DATE SIGNED:	WAF	REVISIONS					
		NO. DATE	750 MOORE ROAD TAX MAP PARCEL #58-27A-20 UPPER MERION TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA Taylor Wiseman & Taylor ENGINEERS / SURVEYORS / SCIENTISTS 5 VALLEY SQUARE, SUITE 100, BLUE BELL, PA 19422 TELEPHONE: (267) 956-1020 FAX: (267) 956-1019 www.taylorwiseman.com				
	1	8/11/08					
	2	9/03/08					
	3	10/05/08					
	4	12/8/08					
	5	1/28/09					
	6	3/3/09					
	7	8/21/15					
	8	12/11/15					
9	8/15/16						
SCALE:	AS NOTED	DATE:	APRIL 30, 2008	DRAWING NO.:	WCB-03337-A	SHEET:	1 OF 16



N/F
PFFC, INC
BLOCK 27A, LOT 12
DEED BK 5403, PG 282
PID: 58-00-13777-00-7

GLOBAL BANK INVESTMENT SERVICING
PNC OFFICES
ITT TECHNICAL INSTITUTE

MOORE ROAD
(60' R.O.W. / VARIABLE WIDTH ULTIMATE R.O.W.)

N/F
P/O'S GRANDE
KOP BUSINESS CENTER, L.P.
PID: 58-00-13777-03-4

N/F
730 MOORE ROAD
COMTRUST FEDERAL
CREDIT UNION
PID: 58-00-06881-53-3

N/F
900 E. EIGHTH AVENUE ASSOCIATES, L.P.
BLOCK 27A, LOT 28
DEED BK 5870, PG 2850
PID: 58-00-06881-01-1

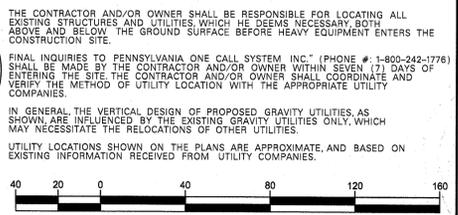
900 EIGHTH AVENUE
WOODLAND CENTRE OFFICES

901 EAST EIGHTH AVENUE
CEDAR RUN CORPORATE CENTER OFFICES

NOTE:
1. BUILDING REMOVAL INCLUDES BUILDING FOUNDATION.
2. PROTECT AND MAINTAIN THE EXISTING STORM WATER DRAINAGE SYSTEM DURING THE DEMOLITION PHASE.
3. PREVENT DEBRIS FROM ENTERING THE STORMWATER MANAGEMENT SYSTEM.

- GENERAL NOTES
1. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF OPERATIONS INCLUDING, BUT NOT LIMITED TO, A DEMOLITION PERMIT FROM UPPER MERION TOWNSHIP.
 2. TOPOGRAPHY WAS GENERATED FROM A FIELD SURVEY COMPLETED BY TAYLOR WISEMAN & TAYLOR ON APRIL 2, 2008 AND SHOWN ON A PLAN ENTITLED "EXISTING FEATURES PLAN" DRAWING NO. WCB-0337-A AND DATED APRIL 30, 2008.
 3. THE DEMOLITION CONTRACTOR AND HIS SUB-CONTRACTOR(S) SHALL OBSERVE ALL FEDERAL, STATE AND COUNTY HEALTH, SAFETY AND ENVIRONMENTAL RULES AND REGULATIONS.
 4. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES NECESSARY BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.
 5. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF BUILDING.
 6. MANIFEST DOCUMENTING PROPER LEGAL DISPOSAL SHALL BE PROVIDED TO OWNER, INCLUDING WEIGHT SLIPS FOR MATERIAL TO BE HAULLED AND/OR RECYCLED.
 7. ALL PHYSICAL IMPROVEMENTS WITHIN THE "LIMIT OF DEMOLITION" SHALL BE REMOVED.
 8. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR THE LAWFUL REMOVAL, TRANSPORTATION AND DISPOSAL OF ALL RETIRED BUILDING DEBRIS. RETIRED BUILDING DEBRIS SHALL NOT BE STOCKPILED ON SITE.
 9. ALL ASBESTOS-CONTAINING BUILDING MATERIAL, FRAGILE OR NON-FRAGILE, THAT COULD BE REMOVED FRAGILE BY DEMOLITION SHALL BE REMOVED BY THE DEMOLITION CONTRACTOR OR UNDER THE DIRECTION OF THE DEMOLITION CONTRACTOR PRIOR TO DEMOLITION.
 10. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR TERMINATING ALL UTILITY SERVICES AND/OR FOR CONTACTING THE UTILITY OWNER TO TERMINATE THEIR UTILITY SERVICE.
 11. REMOVAL OF BUILDING DEBRIS, INCLUDING, BUT NOT LIMITED TO, PAVEMENT, ROOF, WALLS, PIPING, MECHANICAL AND BUILDING FOUNDATIONS, IS THE RESPONSIBILITY OF DEMOLITION CONTRACTOR.
 12. THE OWNER RESERVES THE RIGHT TO RETAIN DEMOLISHED MATERIALS FOR HIS OWN BENEFIT.
 13. IT IS THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO COMMUNICATE WITH EACH UTILITY SERVICE PROVIDER AS TO THEIR POLICY AND PRACTICE FOR TERMINATING SERVICES, INCLUDING BUT NOT LIMITED TO, WHO IS AUTHORIZED TO PERFORM THE WORK, GUIDELINES AND SPECIFICATIONS FOR THE UTILITY TERMINATION TASK AND THE REQUIRED PAPERWORK OVERSIGHT AND INSPECTION(S). THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH DOCUMENTATION OF SAME.
 14. ALL DISCONNECTED SERVICES WILL HAVE HAZARDOUS ELEMENTS ASSOCIATED WITH THEM. THE DEMOLITION CONTRACTOR AND HIS SUBCONTRACTOR(S) SHALL SEEK THE NECESSARY GUIDANCE AND TAKE ALL NECESSARY PRECAUTIONS TO RENDER DISCONNECTIONS AND/OR TERMINATIONS "SEALED AND SAFE".
 15. DEMOLITION CONTRACTORS SHALL EMPLOY PRACTICES AND GUIDELINES OUTLINED BY THE SPECIFIC DISCIPLINE OF THE UTILITY BEING DISCONNECTED.
 16. CONSULT QUALIFIED PROFESSIONALS AND/OR THE UTILITY COMPANY REPRESENTATIVES SHOULD THERE BE ANY QUESTION AS TO THE PROPER PRACTICE TO MAKE A DISCONNECTION AND/OR ABANDON (TEMPORARILY OR PERMANENTLY, AS THE SITUATION DICTATES) A UTILITY SERVICE.
 17. THE POINT OF TERMINATION OF ALL SUBSURFACE UTILITIES SHALL BE MARKED ON THE GROUND IN AN APPROPRIATE MANNER AS TO RENDER THE MARK PERMANENT ABOVE THE POINT OF TERMINATION AND DOCUMENTED ON AS-BUILT PLANS BY THE DEMOLITION CONTRACTOR.
 18. ALL EXISTING UNDERGROUND UTILITIES SHALL BE COMPLETELY EXCAVATED AND REMOVED UNLESS OTHERWISE NOTED ON THE PLANS.
 19. ALL EXCAVATIONS SHALL BE BACKFILLED WITH CLEAN FILL, DEVOID OF ORGANIC OR FROZEN MATERIAL AND DEVOID OF ROCKS GREATER THAN 6 INCHES IN DIAMETER, IN A MAXIMUM HEIGHT OF EIGHT- INCH (8") LIFTS AND COMPACTED TO NOT LESS THAN (95%) PERCENT OF THE MAXIMUM MODIFIED DRY DENSITY, ASTM D 1557-91.
 20. THE DEMOLITION CONTRACTOR AND HIS SUB-CONTRACTOR(S) SHALL OBSERVE ALL OSHA SAFETY REQUIREMENTS.

EXISTING	LEGEND	PROPOSED
○	MANHOLE	●
□	INLET	■
△	CONCRETE HEADWALL	▲
▽	FLARED END SECTION	▼
—○—	UTILITY POLE	—●—
—○—	FIRE HYDRANT	—●—
—○—	SIGN	—●—
—○—	EDGE OF WOODS	—●—
—○—	SANITARY SEWER	—●—
—○—	STORM DRAIN	—●—
—○—	WATER MAIN	—●—
—○—	GATE VALVE	—●—
—○—	TEE	—●—
—○—	PLUG (CAP)	—●—
—○—	CONTOUR LINE	—●—
00x00	GRADE	00x00
N/A	MEET EXISTING GRADE	(00x00)
K38.50	TOP OF CURB ELEVATION	K38.50
G38.00	GUTTER ELEVATION	G38.00
N/A	HANDICAP RAMP	H
====	CURB	====
—○—	EDGE OF PAVEMENT	—○—
N/A	CONCRETE	—○—
X	TREE TO BE REMOVED	N/A



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DESIGNED	DRAWN	CHECKED
MM	WAF	MM
DATE SIGNED:		REVISIONS
		NO. DATE
		1 8/11/08
		2 9/03/08
		3 10/30/08
		4 12/08/08
		5 1/28/09
		6 3/3/09
		7 8/21/15
		8 12/11/15
		9 8/19/16

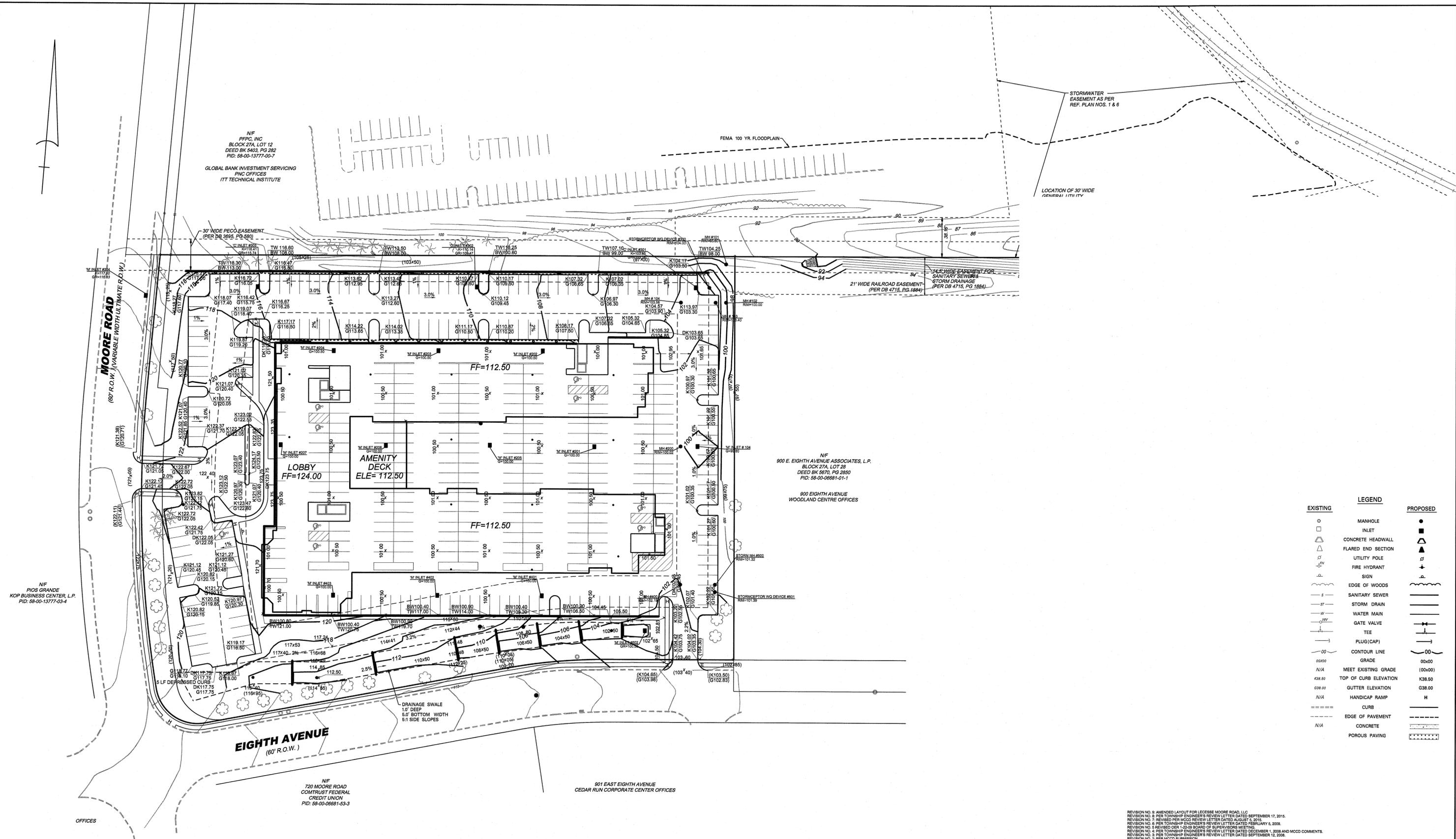
DEMOLITION PLAN

750 MOORE ROAD
TAX MAP PARCEL #58-27A-20
 UPPER MERION TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA

Taylor Wiseman & Taylor
 ENGINEERS / SURVEYORS / SCIENTISTS

5 VALLEY SQUARE, SUITE 100, BLUE BELL, PA 19422
 TELEPHONE: (267) 956-1020 FAX: (267) 956-1019
 www.taylorwiseman.com

SCALE: 1"=40'
 DATE: APRIL 30, 2008
 DRAWING NO: WCB-0337-A
 SHEET: 3 OF 16



STORMWATER
EASEMENT AS PER
REF. PLAN NOS. 1 & 6

LOCATION OF 30' WIDE
GENERAL UTILITY

FEMA 100 YR. FLOODPLAIN

N/F
P/PC, INC.
BLOCK 27A, LOT 12
DEED BK 5403, PG 282
PID: 58-00-13777-00-7
GLOBAL BANK INVESTMENT SERVICING
PNC OFFICES
ITT TECHNICAL INSTITUTE

N/F
900 E. EIGHTH AVENUE ASSOCIATES, L.P.
BLOCK 27A, LOT 28
DEED BK 5870, PG 2830
PID: 58-00-06881-01-1
900 EIGHTH AVENUE
WOODLAND CENTRE OFFICES

N/F
R/OO GRANDE
KOP BUSINESS CENTER, L.P.
PID: 58-00-13777-03-4

N/F
720 MOORE ROAD
COMTRUST FEDERAL
CREDIT UNION
PID: 58-00-06881-53-3

901 EAST EIGHTH AVENUE
CEDAR RUN CORPORATE CENTER OFFICES

EXISTING	LEGEND	PROPOSED
○	MANHOLE	●
□	INLET	■
△	CONCRETE HEADWALL	▲
▽	FLARED END SECTION	▼
○	UTILITY POLE	○
○	FIRE HYDRANT	○
○	SIGN	○
—	EDGE OF WOODS	—
—	SANITARY SEWER	—
—	STORM DRAIN	—
—	WATER MAIN	—
—	GATE VALVE	—
—	TEE	—
—	PLUG (CAP)	—
—	CONTOUR LINE	—
00.00	GRADE	00x00
N/A	MEET EXISTING GRADE	(00x00)
K38.50	TOP OF CURB ELEVATION	K38.50
G38.00	GUTTER ELEVATION	G38.00
N/A	HANDICAP RAMP	H
—	CURB	—
—	EDGE OF PAVEMENT	—
N/A	CONCRETE	—
—	POROUS PAVING	—

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SITE SERIAL #
0875095-000



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DESIGNED	DRAWN	CHECKED
MIC	WAF	MIC

DATE SIGNED: _____

NO. DATE

1	8/11/08
2	9/03/08
3	10/03/08
4	12/08/08
5	12/08/08
6	3/3/09
7	8/21/15
8	12/11/15
9	8/15/16

MARK M. THOMPSON
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA

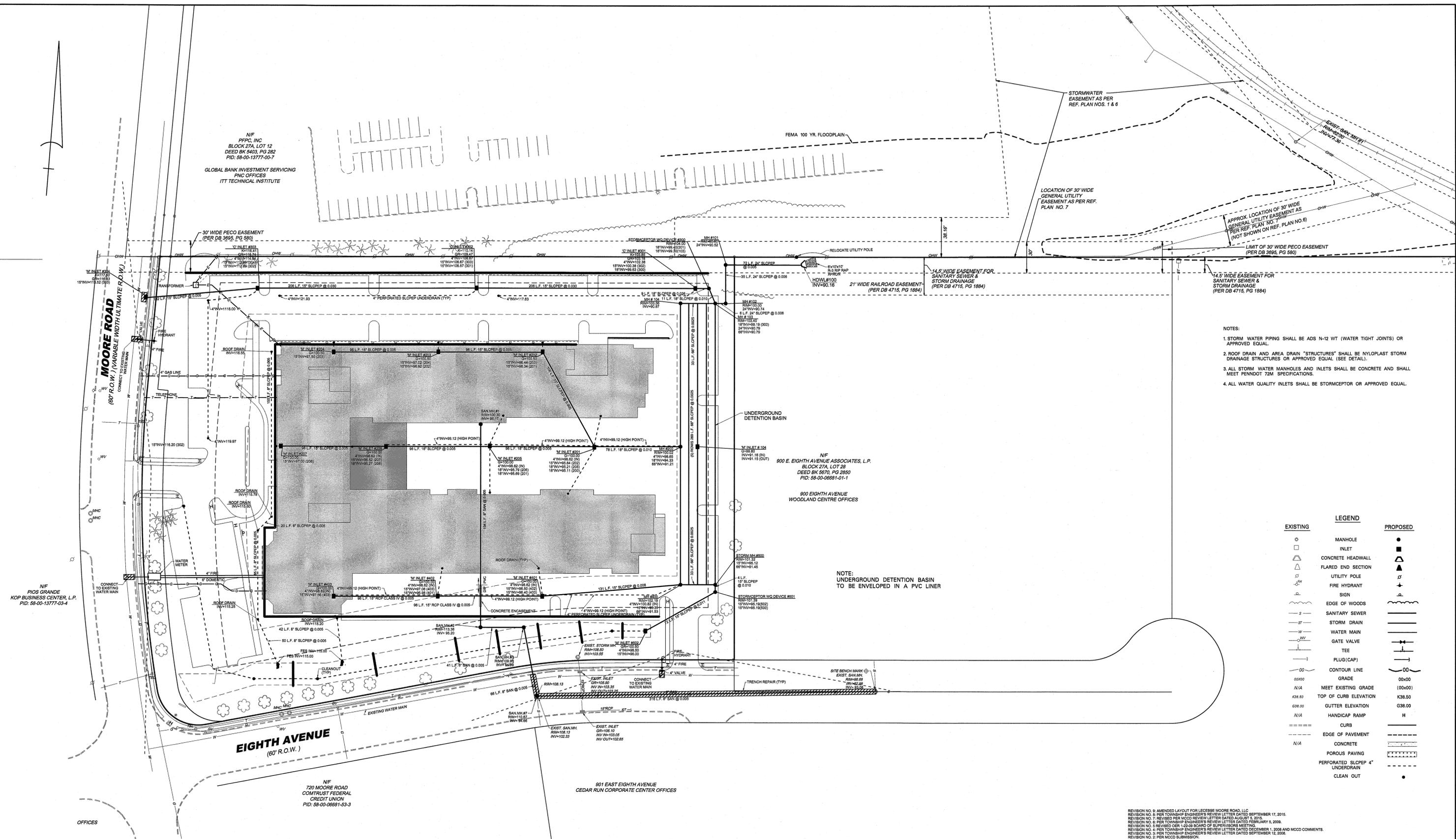
PCSM GRADING PLAN

**750 MOORE ROAD
TAX MAP PARCEL #58-27A-20
UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

Taylor Wiseman & Taylor
ENGINEERS / SURVEYORS / SCIENTISTS

5 VALLEY SQUARE, SUITE 100, BLUE BELL, PA 19422
TELEPHONE: (267) 956-1020 FAX: (267) 956-1019
www.taylorwiseman.com

SCALE: 1"=40' DATE: APRIL 30, 2008 DRAWING NO: WCB-03337-A SHEET: 5 OF 16



- NOTES:
1. STORM WATER PIPING SHALL BE ADS N-12 WT (WATER TIGHT JOINTS) OR APPROVED EQUAL.
 2. ROOF DRAIN AND AREA DRAIN "STRUCTURES" SHALL BE NYLOPLAST STORM DRAINAGE STRUCTURES OR APPROVED EQUAL (SEE DETAIL).
 3. ALL STORM WATER MANHOLES AND INLETS SHALL BE CONCRETE AND SHALL MEET PENNDOT 72M SPECIFICATIONS.
 4. ALL WATER QUALITY INLETS SHALL BE STORMCEPTOR OR APPROVED EQUAL.

EXISTING	LEGEND	PROPOSED
○	MANHOLE	●
□	CONCRETE HEADWALL	■
△	FLARED END SECTION	▲
○	UTILITY POLE	○
○	FIRE HYDRANT	○
○	SIGN	○
—	EDGE OF WOODS	—
—	SANITARY SEWER	—
—	STORM DRAIN	—
—	WATER MAIN	—
—	GATE VALVE	—
—	TEE	—
—	PLUG (CAP)	—
—	CONTOUR LINE	—
00.00	GRADE	00.00
N/A	MEET EXISTING GRADE	00.00
K38.00	TOP OF CURB ELEVATION	K38.50
G38.00	GUTTER ELEVATION	G38.00
N/A	HANDICAP RAMP	H
—	CURB	—
—	EDGE OF PAVEMENT	—
N/A	CONCRETE	—
—	POROUS PAVING	—
—	PERFORATED SLOPEP 4" UNDERDRAIN	—
—	CLEAN OUT	—



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DESIGNED	DRAWN	CHECKED
DATE SIGNED	DATE	DATE
MARK M. THOMPSON	MARK M. THOMPSON	MARK M. THOMPSON
11/15/11	11/15/11	11/15/11

UTILITY PLAN

750 MOORE ROAD
TAX MAP PARCEL #58-27A-20
 UPPER MERION TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA

Taylor Wiseman & Taylor
 ENGINEERS / SURVEYORS / SCIENTISTS

5 VALLEY SQUARE, SUITE 100, BLUE BELL, PA 19422
 TELEPHONE: (267) 959-1020 FAX: (267) 956-1019
 www.taylorwiseman.com

SCALE: 1"=40' DATE: APRIL 30, 2008 DRAWING NO: WCB-03337-A SHEET: 6 OF 16

N/F
 PFFC, INC.
 BLOCK 27A, LOT 12
 DEED BK 5403, PG 282
 PID: 58-00-13777-00-7

GLOBAL BANK INVESTMENT SERVICING
 PNC OFFICES
 ITT TECHNICAL INSTITUTE

N/F
 PIOS GRANDE
 KOP BUSINESS CENTER, L.P.
 PID: 58-00-13777-03-4

N/F
 720 MOORE ROAD
 COMITRUST FEDERAL
 CREDIT UNION
 PID: 58-00-06881-53-3

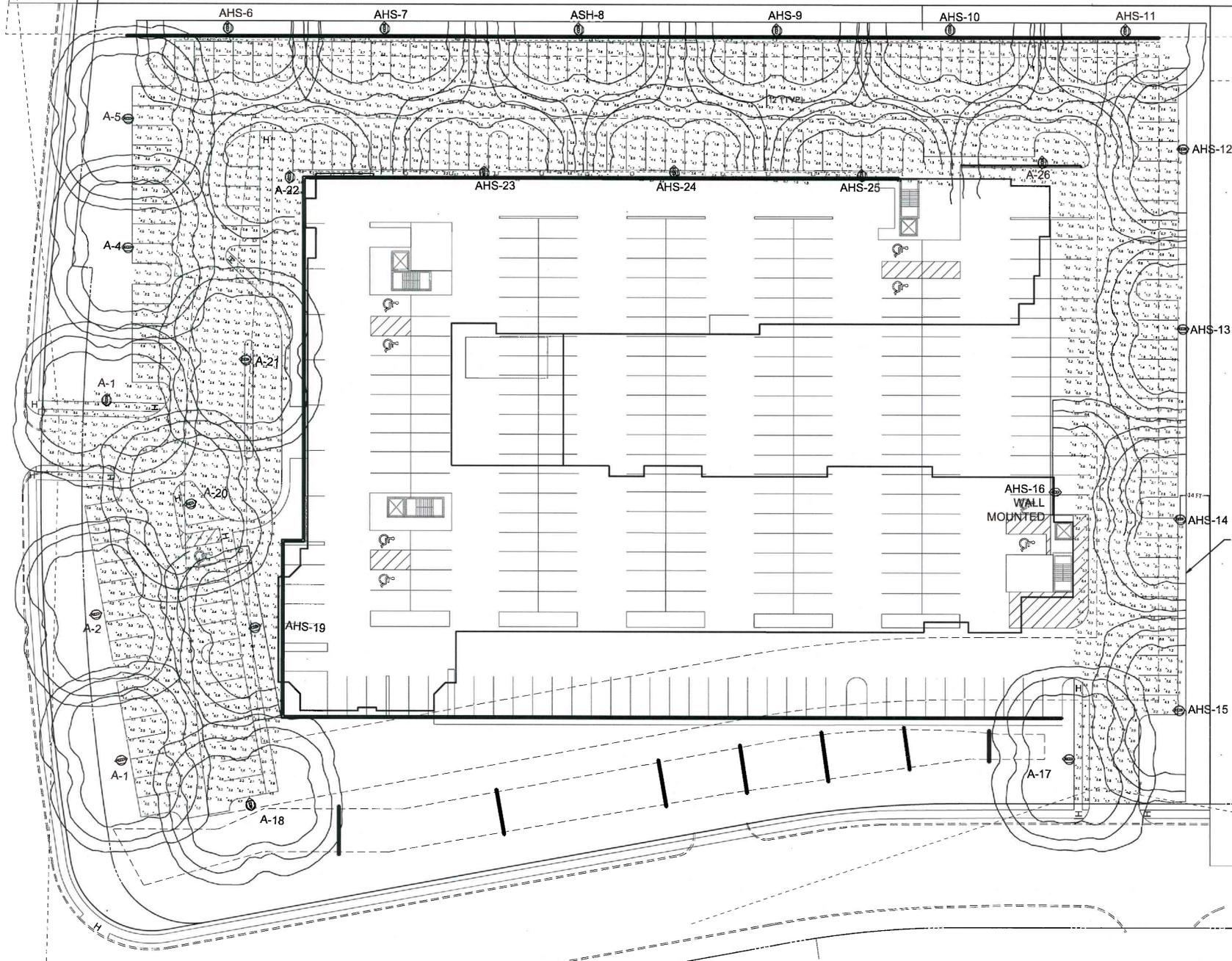
901 EAST EIGHTH AVENUE
 CEDAR RUN CORPORATE CENTER OFFICES

N/F
 900 E. EIGHTH AVENUE ASSOCIATES, L.P.
 BLOCK 27A, LOT 28
 DEED BK 5870, PG 2830
 PID: 58-00-06881-01-1

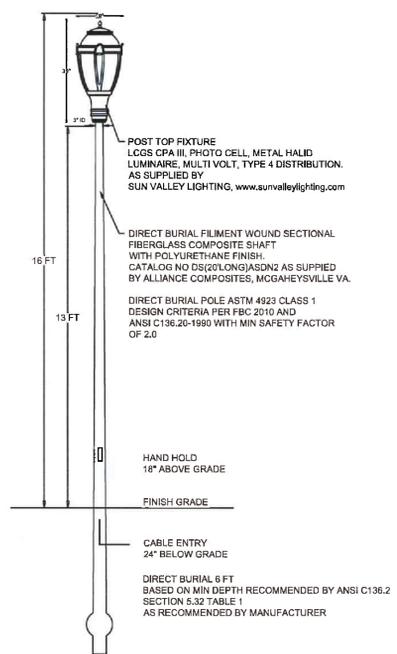
900 EIGHTH AVENUE
 WOODLAND CENTRE OFFICES

NOTE:
 UNDERGROUND DETENTION BASIN
 TO BE ENVELOPED IN A PVC LINER

ADJUST POLES HEIGHTS FOR LIGHTS
AHS-6 THRU AHS-11
TO BE 16 FEET ABOVE PARKING LOT
GRADE



- NOTES:
- HOUSE SHIELD TO BE ON OUTER PROPOSED LIGHT FIXTURE TO PREVENT ILLUMINATION SPILL OVER.
 - ALL LUMINAIRES ARE UL LISTED & CSA CERTIFIED.
 - SUITABLE FOR WET LOCATION USE.
 - BALLAST FACTOR OF 1.0
 - IESNA CLASSIFICATION "FULL-CUT-OFF"
 - 80 MPH POLE WIND LOADING
 - LIGHT POLES ARE TO BE AT LEAST 12-FT FROM PROPERTY LINE
 - LIGHTING DETAILS SHALL BE PROVIDED FOR THE UNDERGROUND AREAS AND AREAS BELOW THE BUILDING AT TIME OF BUILDING PERMIT APPLICATION. THIS LIGHTING SHALL PROVIDE A MINIMUM OF 0.20 FOOT-CANDLES FOR THESE PARKING AREAS.



- LEGEND
- A-17 LIGHT FIXTURE
 - AHS-15 LIGHT FIXTURE w/ HOUSE SIDE SHIELD
 - Light Level Reading (FT-CANDLES)

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
⊕	A	26	LCGS-HR-V-SQ-150PSMH	17-7/8" DIA X 35" HT POLE MOUNT UNIT WITH 14" DIA X 15" HT ACRYLIC LENS, SPECULAR REFLECTOR WITH WHITE TOP REFLECTOR, HORIZONTAL LAMP.		1	12600	1	188	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	+	1.6 fc	5.8 fc	0.1 fc	58.0:1	16.0:1



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DESIGNED	DRAWN	CHECKED
CECILIA BYRNE	WAF	

DATE SIGNED: 8/16/16

NO.	DATE
1	8/11/16
2	8/23/16
3	10/20/16
4	12/05/16
5	3/30/17
6	8/21/16
7	12/11/15
8	8/15/16

CECILIA BYRNE
 BYRNE SCHEIDT
 PENNSYLVANIA SURVEYORS & ENGINEERS
 5 VALLEY SQUARE, SUITE 100, BLUE BELL, PA 19422
 TELEPHONE: (267) 956-1020 FAX: (267) 956-1019
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Taylor Wiseman & Taylor
 ENGINEERS / SURVEYORS

TWT

PA. CERTIFIED ARCHITECT N.O. LAD00862E

SCALE: 1"=30'

DATE: APRIL 30 2008

DRAWING NO: WCB-03337-A

SHEET: 8 OF 16

GRAPHIC SCALE

LAWN SEEDING SCHEDULE
ALL LAWN AREAS SHALL BE PLANTED WITH THE FOLLOWING NATIVE GRASS COMMON NAME PROPORTION BY WEIGHT

Botanical Name	Common Name	Proportion by Weight
Festuca rubra 'commutata'	JAMESTOWN CHEWING	40%
Poa pratensis	KENTUCKY BLUEGRASS	40%
Lolium perenne	PERENNIAL RYEGRASS	20%

APPLICATION RATES:
SEED MIXTURE: 5lbs./1000 SF
STRAWNAY MIXTURE: 1-1/2 - 2 TONS/ARE
FERTILIZER RATE: USE ONLY ORGANIC SLOW RELEASE FERTILIZER 10-6-4

SEED NOTES:
1. SEED MIXTURES AND APPLICATION RATES MAY BE MODIFIED IN ACCORDANCE WITH THE BEST LOCAL PRACTICE, SUBJECT TO THE LANDSCAPE ARCHITECT'S APPROVAL.
2. RECOMMENDED SEEDING DATES: APRIL 1ST-MAY 31ST, OR AUGUST 16-OCTOBER 14TH.

LANDSCAPE SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QTY / %	SIZE/ROOTS/REMARKS
CANOPY TREES: 4 SPECIES REQUIRED, MAX 30% OF ANY SPECIES				
AR	Acer rubrum 'October Glory'	OCTOBER GLORY MAPLE	7/16%	2 1/2-3" cal., 12-14" H, B&B
QA	Quercus alba	WHITE OAK	9/20%	2 1/2-3" cal., 12-14" H, B&B
GT	Gleditsia triacanthos var. inermis	THORNLESS HONEYLOCUST	8/18%	2 1/2-3" cal., 12-14" H, B&B
QP	Quercus phellos	WILLOW OAK	10/23%	2 1/2-3" cal., 12-14" H, B&B
TD	Taxodium distichum	COMMON BALD CYPRESS	10/23%	2 1/2-3" cal., 12-14" H, B&B
EVERGREEN TREES:				
IR	Ilex x Robin	ROBIN HOLLY	18	6" H, B&B
IO	Ilex opaca	AMERICAN HOLLY	15	6-7" H, B&B
IN	Ilex x Nellie Stevens	NELLIE STEVENS HOLLY	12	6" H, B&B
UNDERSTORY TREES:				
AC	Amelanchier canadensis	SERVICEBERRY	17	1-1 1/2" cal., B&B
CC	Cercis canadensis	EASTERN REDBUD	17	2" cal., 8-10" H, B&B
CF	Comus florida	FLOWERING DOGWOOD	8	2" cal., 8-10" H, B&B
MV	Magnolia virginiana	SWEEETBAY MAGNOLIA	12	1" cal., 4-6" H, MULTI
PS	Prunus sargentii	SARGENTS CHERRY	18	2" cal., 8-10" H, B&B
SHRUBS:				
AZ	Rhododendron viscosum 'Millenium'	SWAMP AZALEA	167	#2 CAN
HV	Hamamelis vernalis	VERNAL WITCH-HAZEL	17	18-24" H, #3 CAN
IC	Ilex crenata 'Compacta'	COMPACT JAPANESE HOLLY	34	18-24" H, B&B
IM	Ilex crenata 'Helleri'	COMPACT HELLERLI HOLLY	0	18-24" H, B&B
IP	Ilex x meservea 'Blue Prince'	BLUE PRINCE HOLLY	84	18-24" H, B&B
RC	Rhododendron catawbiense	CATAWBA RHODODENDRON	29	30-36" H, B&B
PJ	Pieris japonica 'Dorothy Wycoff'	DOROTHY WYCOFF PIERIS	11	30-36" H, B&B
PJM	Rhododendron 'Encore'	ENCORE AUTUMN ROYALTY RHODO	59	18-24" H, B&B
TD	Taxus cuspidata densa	DENSE VEV	70	18-24" H, B&B
VB	Viburnum x burkwoodii 'Mohawk'	'MOHAWK' BURKWOOD VIBURNUM	27	30-36" H, B&B
VC	Viburnum trilobum 'Bailey's Compact'	CRANBERRYBUSH VIBURNUM	41	30-36" H, B&B
VR	Viburnum rhytidophyllum 'Cree'	CREE' LEATHERLEAF VIBURNUM	37	30-36" H, B&B
GROUND COVER:				
LM	Carex flacca 'Blue Zinger'	BLUE ZINGER SEDGE	225	5" POT
CE	Carex emoryi	EMORY'S SEDGE	364	PLUG

EXISTING TREES

TREES TO BE PRESERVED (SEE DEMOLITION/EXISTING CONDITIONS FOR TREE PROTECTION)	33
TREES TO BE REMOVED (WITH 12" CALIPER) (SEE EXISTING FEATURES PLAN FOR LOCATIONS)	26
TOTAL TREE COUNT =	59

TREE CREDITS FROM PRESERVED EXISTING TREES

CANOPY TREE CREDIT INFORMATION:

PRESERVED TREE SIZE	QUANTITY PRESERVED	CREDITS PER TREE SAVED	TOTAL
18"-35"	10	6	60
12"-17"	9	4	36
8"-11"	7	2	14
TOTAL CANOPY TREE CREDITS =			110

EVERGREEN TREE CREDIT INFORMATION:

PRESERVED TREE SIZE	QUANTITY PRESERVED	CREDITS PER TREE SAVED	TOTAL
18"-35"	1	6	6
12"-17"	3	4	12
8"-11"	3	2	6
TOTAL EVERGREEN TREE CREDITS =			24
TOTAL TREE CREDITS =			134

TOWNSHIP LANDSCAPE REQUIREMENTS

	REQUIRED (per township)	PROPOSED (per schedule)
PARKING LOT LANDSCAPE REQUIREMENT (MARKED WITH 'A'):		
1 CANOPY TREE / 10 PARKING STALLS		**18
177 PARKING STALLS (SURFACE PARKING)		
REPLACEMENT TREE REQUIREMENT (MARKED WITH 'R'):		
1 TREE / 12" CAL OR GREATER TREE		**25
25 TREES TO BE REMOVED		
BUILDING PLANTING REQUIREMENTS:		
1911' BUILDING PERIMETER	76	117
2 UNDERSTORY TREES / 50 LINEAR FEET		
5 SHRUBS / 20 LINEAR FEET	477	531

- LANDSCAPE NOTES**
SEQUENCE OF BMP DEVELOPMENT (LANDSCAPE RESTORATION)
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF QUANTITIES, SIZES, AND OTHER REQUIREMENTS IS SHOWN ON THE PLANT SCHEDULE. IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED IN THE PLANT LIST AND THOSE INDICATED ON THE PLAN, THE PLANT QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
 - ANY PLANT SCHEDULE MODIFICATIONS SHALL BE SUBJECT TO THE APPROVAL BY THE TOWNSHIP REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT PRIOR TO THE PRECONSTRUCTION MEETING REQUEST TO BE MADE IN WRITING TO AUTHORITY.
 - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL WELL DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. THEY SHALL BE FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUNSCALD INJURIES, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL OTHER FORMS OF INFECTIONS. ALL PLANT MATERIAL SHALL BE THOROUGHLY WETTED WITH AN ANTI-TRANSPIRANT UPON DELIVERY OF MATERIAL TO THE SITE. ALL EVERGREEN MATERIAL SHALL BE RESPRAYED PRIOR TO THE FIRST WINTER BY THE OWNER.
 - SIZE AND GRADING STANDARDS SHALL CONFORM TO ANSI #1, OR BETTER AND SHALL BE GUARANTEED FOR A PERIOD OF 365 DAYS AFTER ACCEPTANCE BY THE OWNER.
 - ALL PLANTS SHALL BE PACKED, TRANSPORTED AND HANDLED WITH THE UTMOST CARE TO INSURE ADEQUATE PROTECTION AGAINST INJURY AND DEHYDRATION. EACH SHIPMENT SHALL BE CERTIFIED TO BE FREE FROM DISEASES AND INFESTATION. ANY INSPECTION CERTIFICATES REQUIRED BY LAW TO THIS EFFECT SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER OF STOCK AND ON ARRIVAL.
 - NO PLANT MATERIAL SHALL BE PLANTED BY THE CONTRACTOR UNTIL IT IS INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR HIS AGENT AT THE SITE. THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE SHALL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF THE MATERIALS. ALL REJECTED MATERIALS SHALL BE IMMEDIATELY REPLACED WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANS Z60.1-2004 AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. SEE NOTE 4 ABOVE FOR SIZES AND GRADING.
 - SHADE AND EVERGREEN TREES SHALL BE PLANTED AT LEAST TWO (2) FEET FROM ANY CURBING, PAVING OR SIDEWALK. WHENEVER POSSIBLE THIS DIMENSION SHOULD BE INCREASED TO FOUR (4) FEET.
 - PLANTING MIXTURE SHALL CONSIST OF APPROXIMATELY FOUR PARTS OF ACCEPTANCE NATURAL TOPSOIL AND ONE PART PULVERIZED PEAT AND TO EACH CUBIC YARD SHALL BE ADDED AND INCORPORATED BY THOROUGHLY MIXING FOUR POUNDS OF COMMERCIAL FERTILIZER HAVING AN ANALYSIS OF 6-6-6.
 - PEAT MOSS FOR PLANTING MEDIUM SHALL BE IMPORTED CANADIAN SPHAGNUM PEAT MOSS, BROWN, LOW IN CONTENT OF WOODY MATERIAL AND BE FREE OF MINERAL CONTENT HARMFUL TO PLANT LIFE.
 - CONTRACTOR SHALL SCALE PLANT LOCATIONS FROM PLANS AND STAKE LOCATIONS ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR HIS AGENT.
 - ALL SEEDED AREAS THAT DO NOT SHOW A PROMPT UNIFORM GERMINATION SHALL BE RESEED BY THE LANDSCAPE CONTRACTOR AT INTERVALS OF 45-60 DAYS, UNTIL A GOOD GROWTH IS ESTABLISHED OVER THE ENTIRE LAWN AREA.
 - ALL PLANT BEDS SHALL BE MULCHED WITH THREE (3) INCHES OF SHREDDED HARDWOOD MULCH OR OTHER MATERIAL APPROVED BY THE LANDSCAPE ARCHITECT. THE LIMIT OF THIS MULCH FOR TREES SHALL BE THE AREA OF THE PIT AND FOR SHRUBS AND BEDS, THE ENTIRE SHRUB OR BED AREA AS INDICATED ON THE PLAN. DO NOT CREATE MULCH PYRAMIDS. SEE PLANTING DETAIL FOR MULCH APPLICATION.
 - ALL PLANTING BEDS SHALL BE ROTOTILLED TO A DEPTH OF TEN (10) INCHES PRIOR TO ANY PLANTING. ALL STONES, WIRE, CONCRETE AND UNSUITABLE MATERIALS SHALL BE REMOVED.
 - PLANTING BEDS SHALL BE THOROUGHLY EXCAVATED AND BACKFILLED WITH THE PLANT MIXTURE DESCRIBED IN 9 ABOVE. ALL PAVEMENT SUBBASE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE ISLAND PLANTING BEDS UNTIL VIRGIN SOIL IS REPLACED.
 - IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREAS BEYOND THE GUARANTEE PERIOD COMMENCING WITH THE DATE OF INITIAL ACCEPTANCE.
 - THE CONTRACTOR SHALL BECOME RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE EXCAVATING.
 - ALL EVERGREEN TREES SHALL BE CONICAL IN SHAPE UNLESS OTHERWISE NOTED. CONICAL SHALL MEAN THE PLANT SHALL HAVE A WIDER BASE (6:3 RATIO) AT A MINIMUM AND TAPER TO THE TOP. PLANT LEADER SHALL BE NO LONGER THAN 12 INCHES. CONICAL SHALL ALSO IMPLY A FULL SHAPE FROM THE BOTTOM OF PLANT (6-12" FROM ROOT BALL) TO TOP LEADER. REFER TO ANS Z60.1-2004, 4.1.2.5 TYPE 5- CONE TYPE.
 - SPECIMEN PLANT MATERIAL SHALL MEAN FOR EVERGREEN SPECIES; EXCEPTIONALLY HEAVY, WELL SHAPED PLANTS WHICH HAVE BEEN TRAINED TO FORM A PERFECTLY SYMMETRICAL, TIGHTLY KNIT PLANT.
 - FOR CONICAL AND EVERGREEN PLANT MATERIAL AVERAGE HEIGHT SHALL BE MEASURED FROM THE UPPER LIMIT OF BRANCH WHORL AND MIDPOINT OF LEADER.
 - ALL EVERGREEN TREES MUST BE SLIGHTLY SHEARED.
 - ALL TREES TO REMAIN AND TO BE REMOVED ARE DEPICTED ON SHEETS 2 & 3 TITLED 'EXISTING CONDITIONS PLAN' AND 'DEMOLITION PLAN' RESPECTIVELY.
 - PER THE TOWNSHIP REQUIREMENT THAT AT LEAST 25% OF THE AREA BETWEEN THE BUILDING AND THE FRONT DRIVE (EIGHT AVENUE) MUST BE PERVIOUS PLANTING, +130,321 S.F. (86%) OF PERVIOUS PLANTING AREA OUT OF 34,326 S.F. HAS BEEN PROPOSED.

EXISTING	LEGEND	PROPOSED
○	MANHOLE	●
□	INLET	◻
▤	CONCRETE HEADWALL	▥
▨	FLARED END SECTION	▩
○	UTILITY POLE	▲
+	FIRE HYDRANT	+
—	SIGN	—
—	EDGE OF WOODS	—
—	SANITARY SEWER	—
—	STORM DRAIN	—
—	WATER MAIN	—
—	GATE VALVE	—
—	TEE	—
—	PLUG (CAP)	—
—	CONTOUR LINE	—
0000	GRADE	0000
N/A	MEET EXISTING GRADE	(0000)
K#9.50	TOP OF CURB ELEVATION	K38.50
G38.00	GUTTER ELEVATION	G38.00
N/A	HANDICAP RAMP	H
=====	CURB	=====
-----	EDGE OF PAVEMENT	-----
N/A	CONCRETE	-----
R	REPLACEMENT TREES	○
P	PARKING LOT TREE REQUIREMENTS	○
○	CANOPY TREE	○
○	UNDERSTORY TREE	○
○	EVERGREEN TREE	○
N/A	SHRUBS	○
N/A	GROUND COVER/PERENNIALS	○

- #1. SUMMARY OF CANOPY TREE REQUIREMENTS**
- 88 TOTAL CANOPY TREES REQUIRED
 - **43 PROPOSED CANOPY TREES
 - 45 TOTAL CREDITS APPLIED TO CANOPY TREE REQUIREMENTS
 - CANOPY TREE REQUIREMENT FULFILLED
- #2. SUMMARY OF SHRUB REQUIREMENTS**
- 477 SHRUBS REQUIRED AROUND BUILDING
 - 531 SHRUBS PROPOSED AROUND BUILDING
 - SHRUB REQUIREMENT FULFILLED
- #3. SUMMARY OF UNDERSTORY TREES**
- 106 UNDERSTORY TREES REQUIRED
 - 30 UNDERSTORY TREE CREDITS USED
 - 13 UNDERSTORY TREES PROPOSED AROUND BUILDING
 - 58 UNDERSTORY TREES PROPOSED AROUND SITE
 - 45 EVERGREEN TREES PROPOSED AROUND SITE
 - UNDERSTORY TREE REQUIREMENT FULFILLED

TOWNSHIP APPLICABLE CREDITS

	REQUIRED (per township ordinance)	PROPOSED (per schedule above)	CREDITS (per chart above)
STREET TREE REQUIREMENT:			
1 CANOPY TREE / 40' STREET FRONTAGE			
1012' FRONTAGE		0	**28 (SEE ABOVE)
SOFTENING BUFFER:			
838' PROPERTY LINE			
1 CANOPY TREE / 100 FEET		0	**9 (SEE ABOVE)
2 UNDERSTORY TREES / 100 FEET	18	0	18 (SEE ABOVE)
2 EVERGREEN TREES / 100 FEET	18	0	18 (SEE ABOVE)
SCREENING BUFFER:			
550' PROPERTY LINE			
8 EVERGREEN TREES / 100 FEET	44	45	0
2 UNDERSTORY TREES / 100 FEET	12	0	12 (SEE ABOVE)
2 CANOPY TREES / 100 FEET	0	0	**11 (SEE ABOVE)
10 SHRUBS / 100 FEET	55	0	55
TOTAL:			93 CREDITS

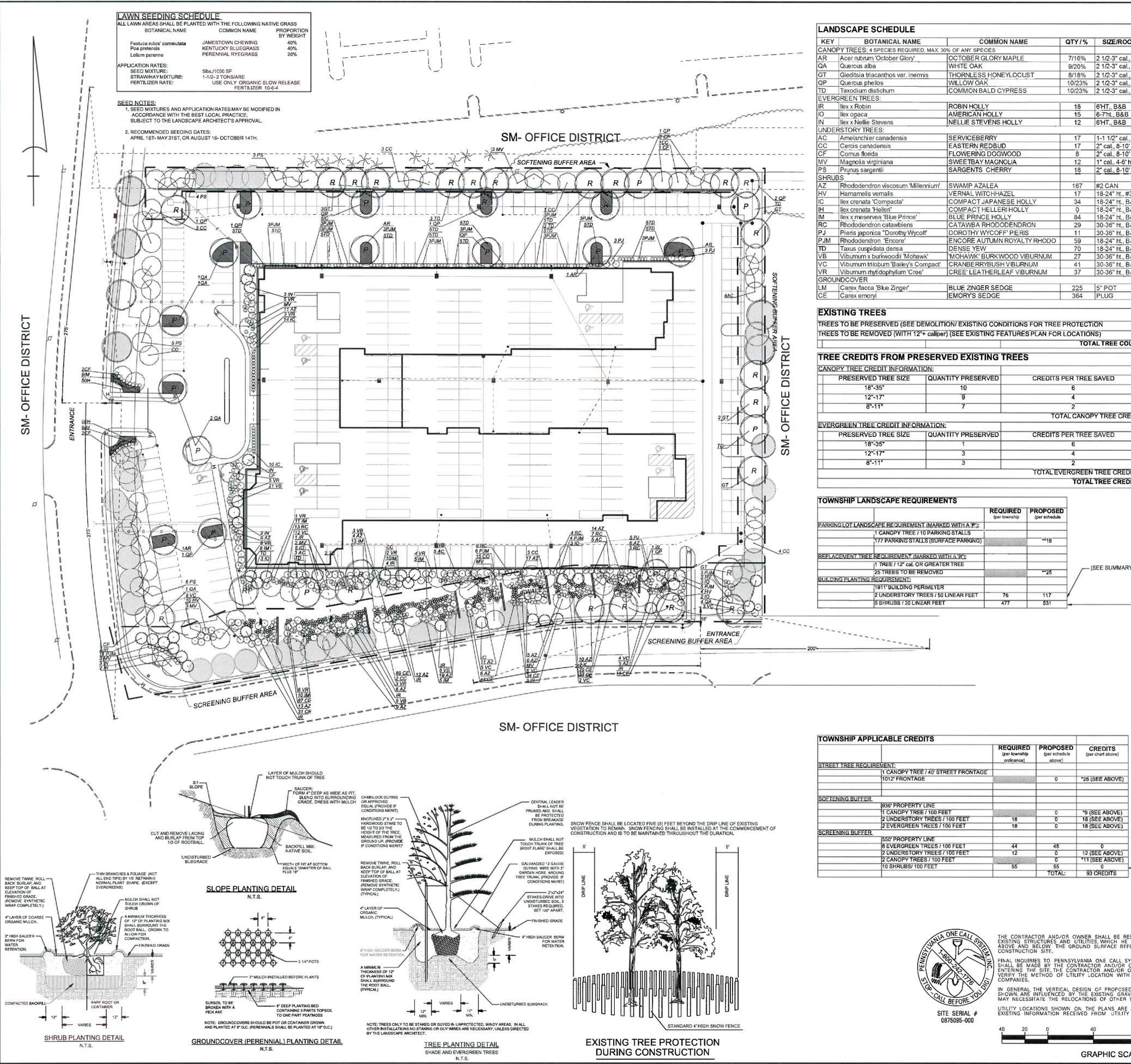
REVISION NO. 1: AMENDED LAYOUT FOR LICENSEE MOORE ROAD, LLC
 REVISION NO. 2: PER TOWNSHIP ENGINEER REVIEW LETTER DATED SEPTEMBER 17, 2015.
 REVISION NO. 3: REVISED PER MCOO REVIEW LETTER DATED AUGUST 5, 2015.
 REVISION NO. 4: PER TOWNSHIP ENGINEER REVIEW LETTER DATED FEBRUARY 6, 2008.
 REVISION NO. 5: REVISED CEN 1-C-08 BOARD OF SUPERVISORS MEETING.
 REVISION NO. 6: PER TOWNSHIP ENGINEER REVIEW LETTER DATED FEBRUARY 1, 2008 AND MCOO COMMENTS.
 REVISION NO. 7: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED SEPTEMBER 12, 2008.
 REVISION NO. 8: PER MCOO COMMENTS.
 REVISION NO. 9: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED JULY 10, 2008.
 REVISION NO. 10: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED JULY 10, 2008.

LANDSCAPE PLAN
 750 MOORE ROAD
 TAX MAP PARCEL #58-27A-20
 UPPER MERION TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA

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DESIGNED: NOT CHECKED: NOT
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 DATE: 8.16.16 NO. DATE
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 4 12/08/08
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 8 12/11/15
 9 01/15/16
 10 01/15/16

SCALE: 1"=40'
 DATE: APRIL 30, 2008 DRAWING NO: WC8-03337-A SHEET: 10 OF 16
 ARCHITECT NO. 1A0000325E



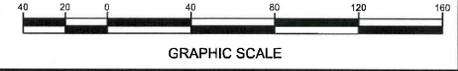
THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND UTILITIES WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

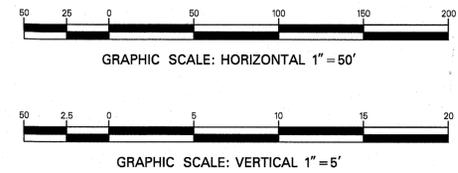
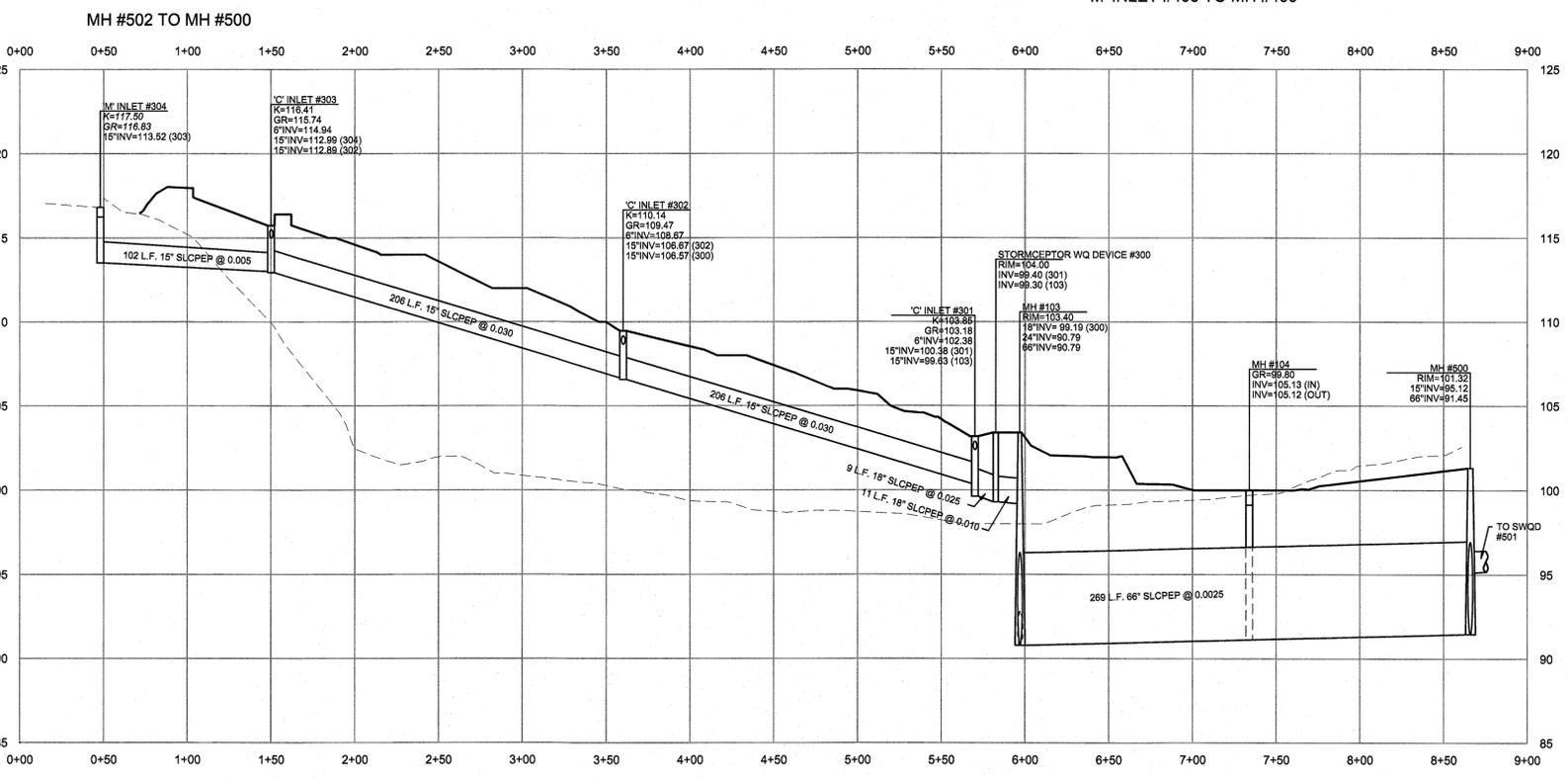
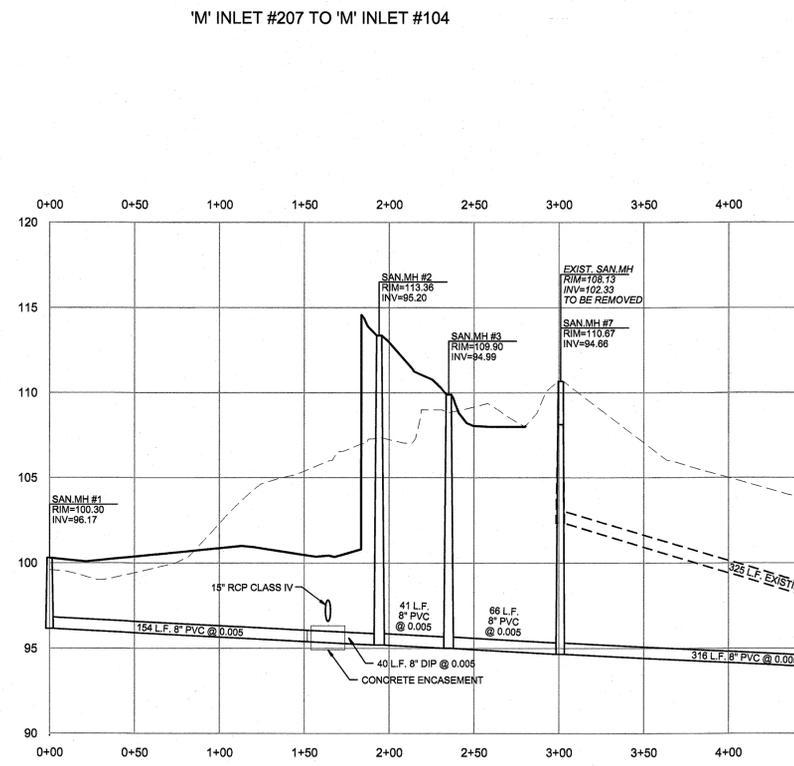
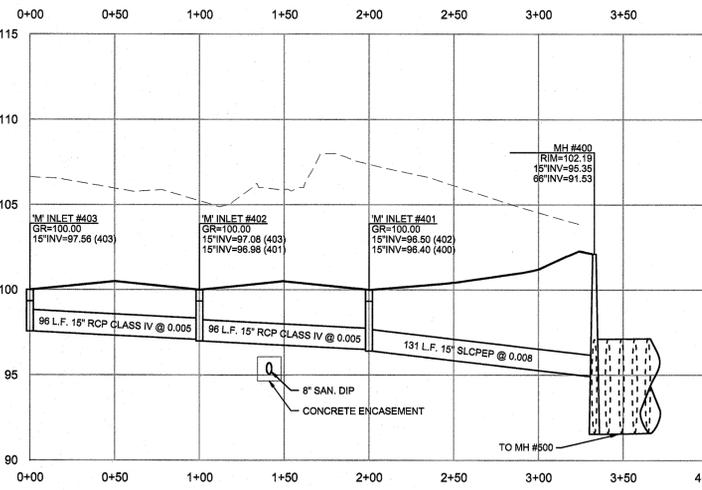
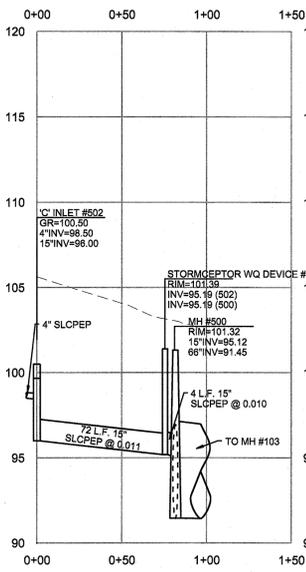
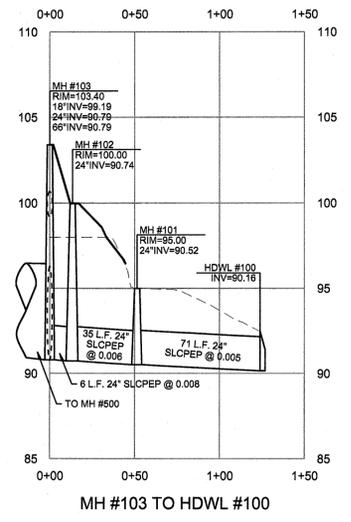
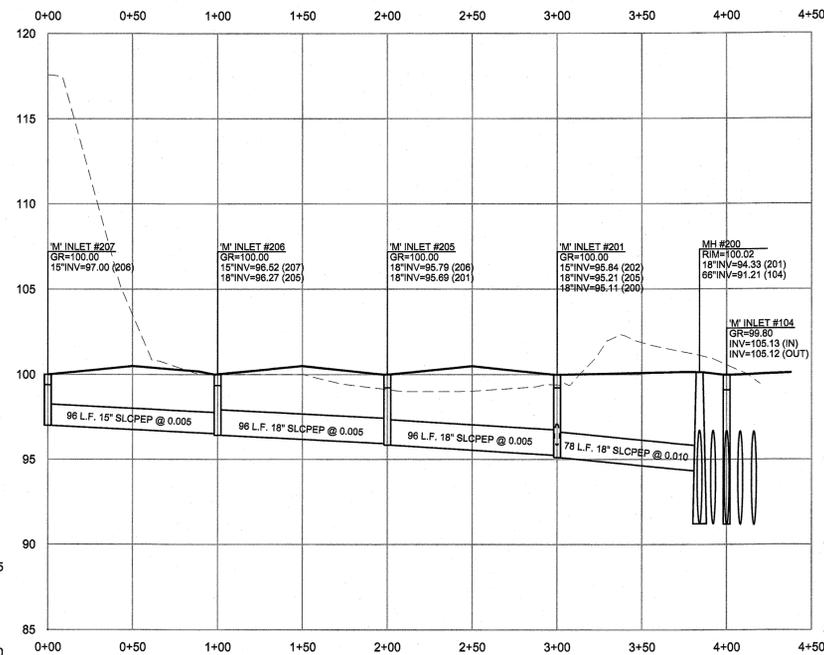
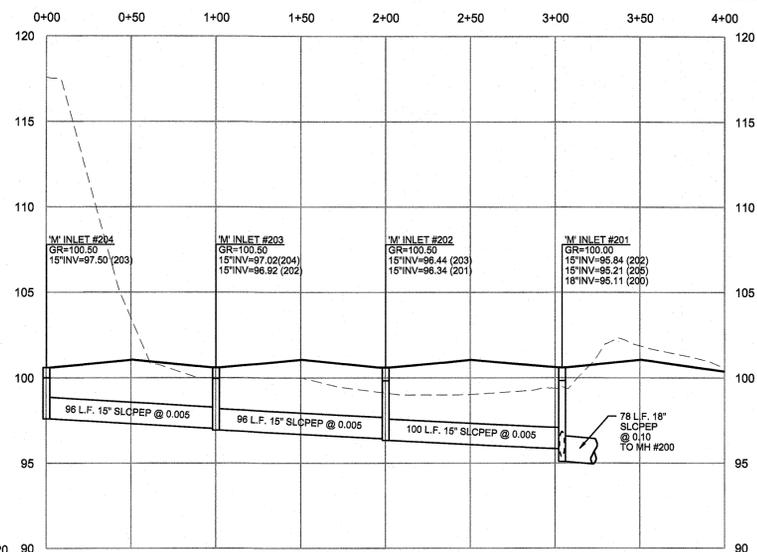
FINAL INQUIRIES TO PENNSYLVANIA ONE CALL SYSTEM, INC. (PHONE #: 1-800-242-1776) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

IN GENERAL THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.

SITE SERIAL # 0875095-000





REVISION NO. 8: AMENDED LAYOUT FOR LEASEE MOORE ROAD, LLC
 REVISION NO. 7: REVISED PER MCOO REVIEW LETTER DATED SEPTEMBER 17, 2016.
 REVISION NO. 6: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED FEBRUARY 6, 2016.
 REVISION NO. 5: REVISED PER BOARD OF SUPERVISORS MEETING.
 REVISION NO. 4: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED DECEMBER 1, 2008 AND MCOO COMMENTS.
 REVISION NO. 3: PER MCOO SUBMISSION.
 REVISION NO. 2: PER MCOO SUBMISSION.
 REVISION NO. 1: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED JULY 10, 2008.

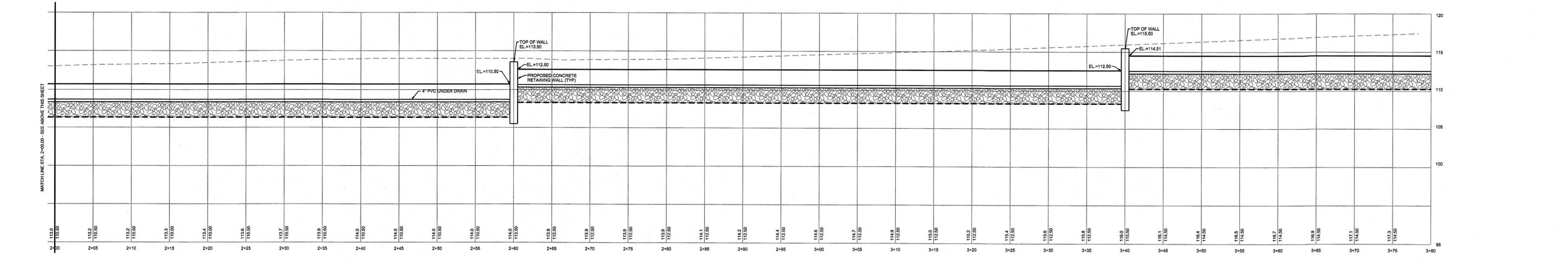
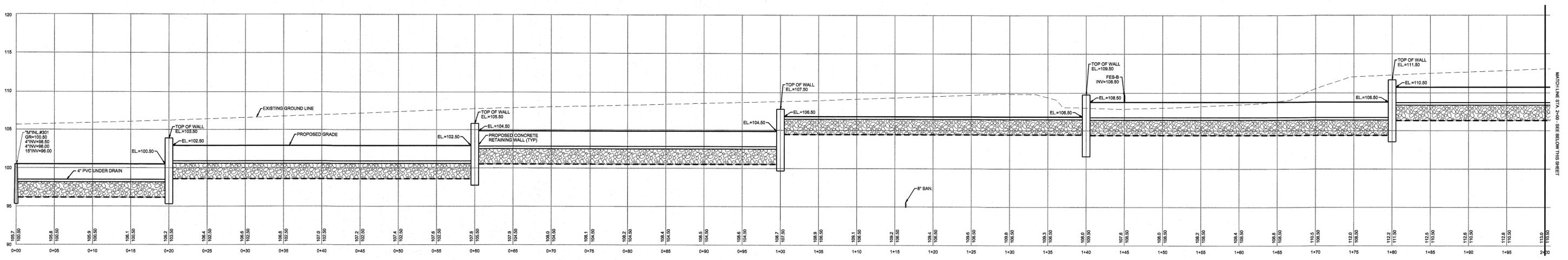
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		6 3/3/09
		7 8/21/15
		8 12/11/15
		9 8/19/16

PROFILES
 750 MOORE ROAD
 TAX MAP PARCEL #58-27A-20
 UPPER MERION TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA

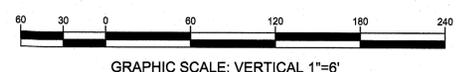
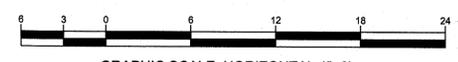
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SCALE: 1" = 50' HORIZ.
 1" = 5' VERT.

DATE: APRIL 30, 2008 DRAWING NO: WCS-0337-A SHEET: 11 OF 16



BIORETENTION BASIN #1



REVISION NO. 9: AMENDED LAYOUT FOR LEGERSE MOORE ROAD, LLC.
 REVISION NO. 8: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED SEPTEMBER 17, 2015.
 REVISION NO. 7: REVISED PER MCOO REVIEW LETTER DATED AUGUST 5, 2015.
 REVISION NO. 6: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED FEBRUARY 5, 2009.
 REVISION NO. 5: REVISED PER 1-23-09 BOARD OF SUPERVISORS MEETING.
 REVISION NO. 4: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED DECEMBER 1, 2008 AND MCOO COMMENTS.
 REVISION NO. 3: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED SEPTEMBER 12, 2008.
 REVISION NO. 2: PER MCOO SUBMISSION.
 REVISION NO. 1: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED JULY 10, 2006.

DESIGNED:	DRAWN:	CHECKED:
MARK M. THOMPSON	WAP	MCE

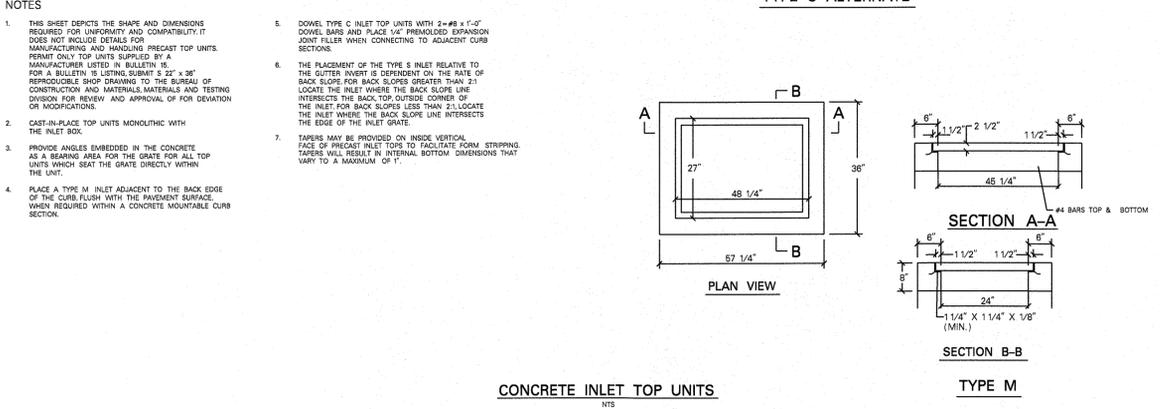
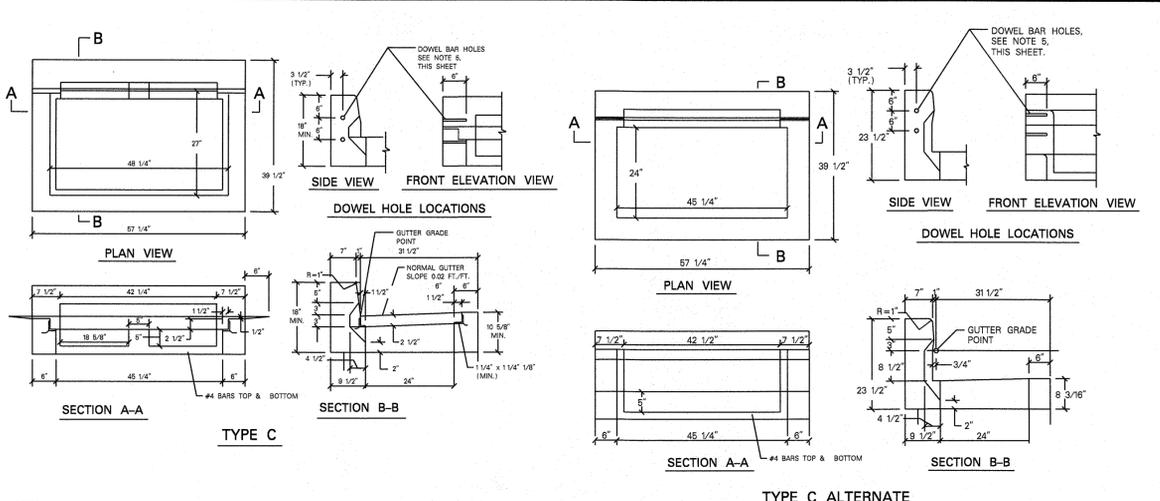
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5	12/8/09
6	3/3/09
7	8/21/15
8	12/1/15
9	8/18/16

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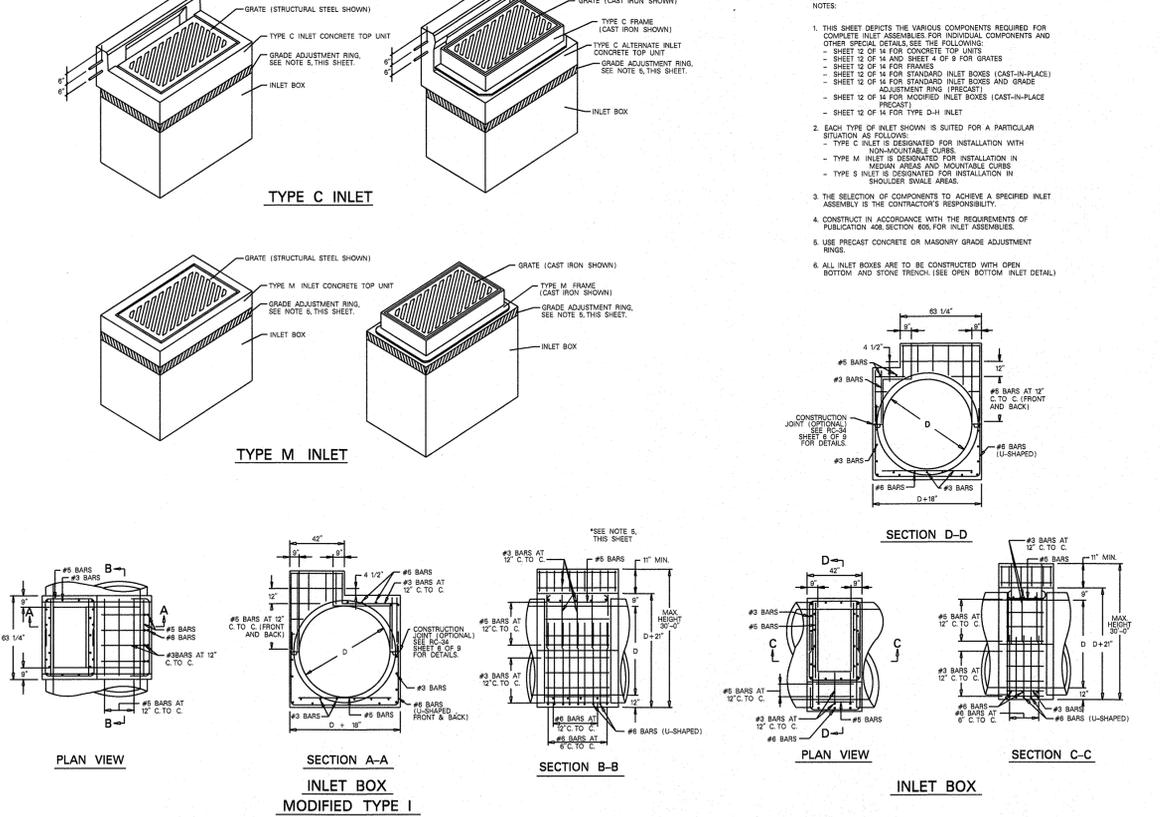
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SCALE: HORIZONTAL: 1"=6'
 VERTICAL: 1"=6'

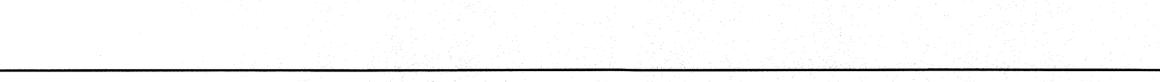
DATE: APRIL 30, 2008
 DRAWING NO: WCB-03337-A
 SHEET: 12 OF 16



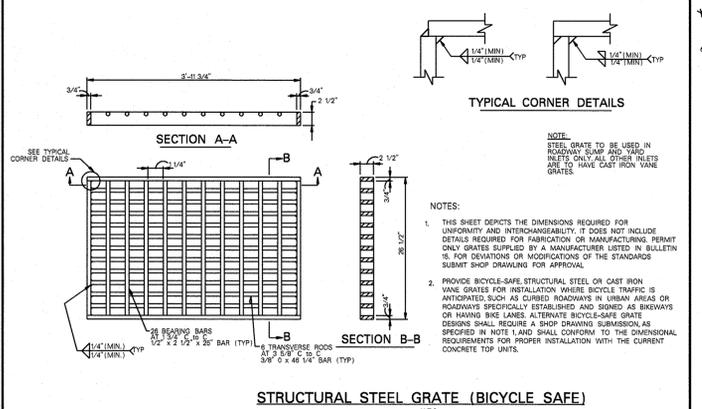
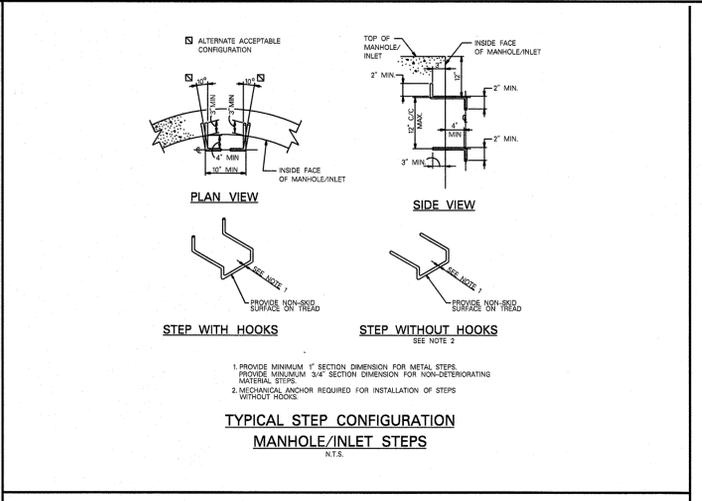
CONCRETE INLET TOP UNITS
N.T.S.



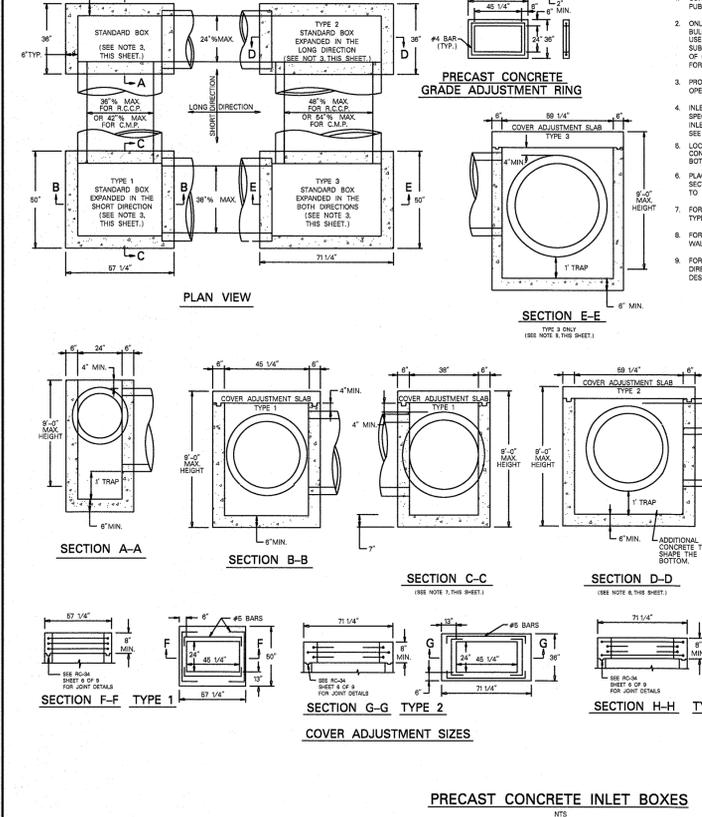
CONCRETE INLET BOX MODIFIED TYPE I
N.T.S.



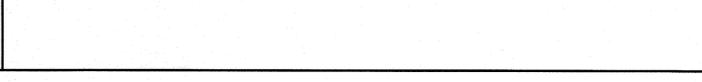
CONCRETE INLET BOX MODIFIED TYPE II
N.T.S.



STRUCTURAL STEEL GRATE (BICYCLE SAFE)
N.T.S.



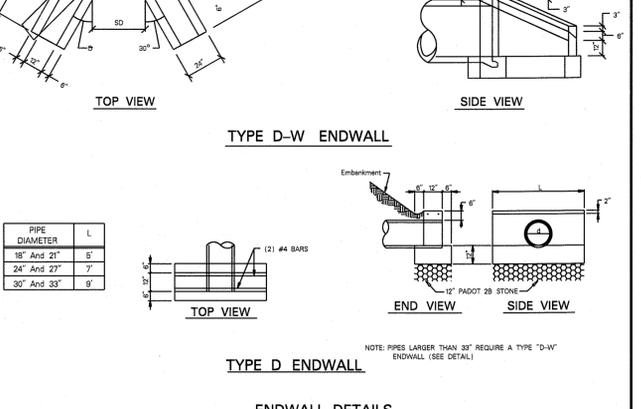
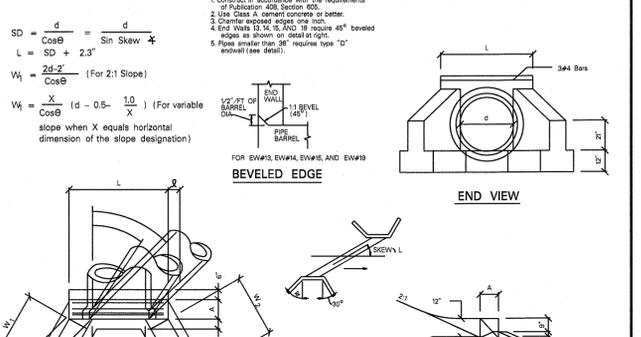
PRECAST CONCRETE INLET BOXES
N.T.S.



PRECAST CONCRETE INLET BOXES
N.T.S.

TABLE A
DESIGN FOR MAX 2.1 SLOPES MAX 8:1 SLOPES USED

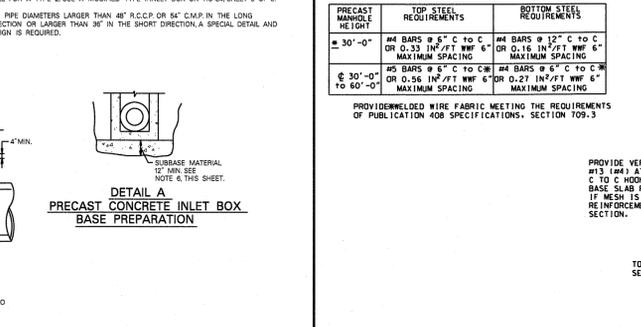
PIPE	SEW 1/4" - 6"	SEW 8" - 12"	SEW 15" - 24"	SEW 30" - 48"	SEW 60" - 72"	SEW 90" - 108"	SEW 144" - 180"	SEW 216" - 270"	SEW 360" - 432"
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5



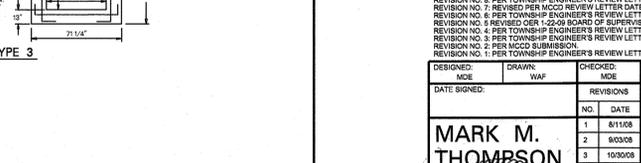
PRECAST CONCRETE INLET BOX BASE PREPARATION
N.T.S.

TABLE A
BASE SLAB DIMENSIONS

MAXIMUM DIAMETER OF PIPE	TYPE OF MANHOLE	DEPTH FROM TOP OF MANHOLE TO INVERT OF PIPE	TONS PER SQUARE FOOT	AS DESIGNED	MINIMUM THICKNESS OF BASE BELOW BOTTOM OF PIPE
30"	A	MAX. 10'-0"	0.65	6'-6"	0'-8"
30"	A	MAX. 20'-0"	0.82	7'-0"	0'-8"
30"	A	MAX. 30'-0"	1.12	7'-0"	0'-8"
30"	B	MAX. 40'-0"	1.38	7'-6"	1'-0"
30"	B	MAX. 50'-0"	1.50	8'-6"	1'-6"
30"	B	MAX. 60'-0"	1.58	9'-6"	2'-0"
MOD.	MAX.	40'-0"	1.05	7'-0" x 7'-0"	



PRECAST MANHOLE
N.T.S.



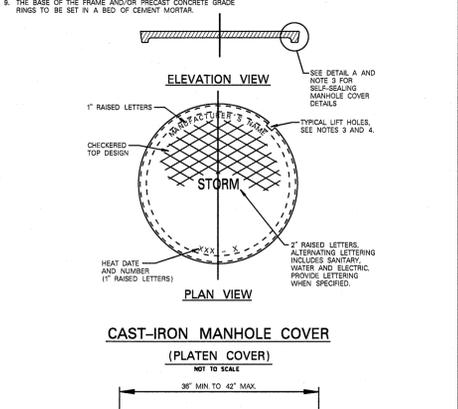
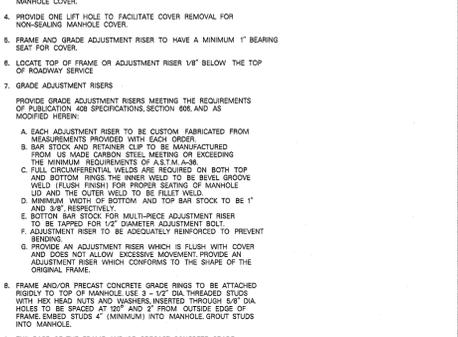
STORM MANHOLE DETAIL
N.T.S.

TABLE B

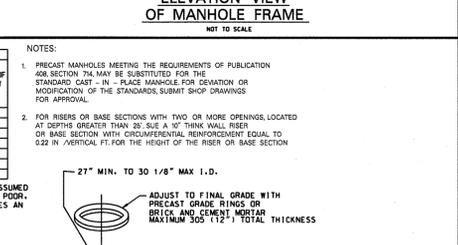
PRECAST MANHOLE HEIGHT	TOP STEEL REQUIREMENTS	BOTTOM STEEL REQUIREMENTS
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4

TABLE A
DESIGN FOR MAX 2.1 SLOPES MAX 8:1 SLOPES USED

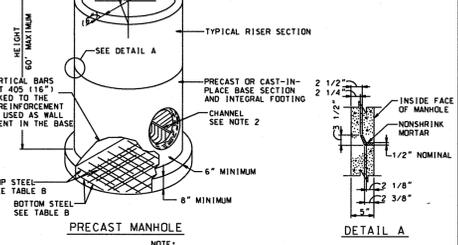
PIPE	SEW 1/4" - 6"	SEW 8" - 12"	SEW 15" - 24"	SEW 30" - 48"	SEW 60" - 72"	SEW 90" - 108"	SEW 144" - 180"	SEW 216" - 270"	SEW 360" - 432"
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
DR	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5



CAST-IRON MANHOLE COVER (PLATEN COVER)
N.T.S.



STORM MANHOLE DETAIL
N.T.S.



STORM MANHOLE DETAIL
N.T.S.

TABLE B

PRECAST MANHOLE HEIGHT	TOP STEEL REQUIREMENTS	BOTTOM STEEL REQUIREMENTS
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4
30'-0"	#4 BARS @ 6" C TO C OR 0.33 IN/FT W/F #4	#4 BARS @ 12" C TO C OR 0.16 IN/FT W/F #4

PCSM CONSTRUCTION DETAILS

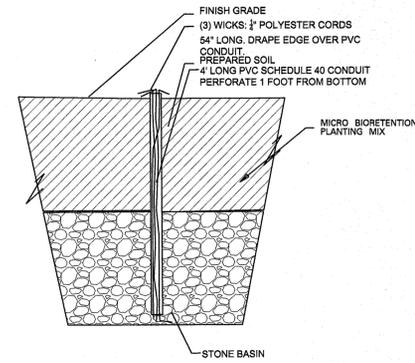
DESIGNED	DRAWN	CHECKED
DATE SIGNED:	DATE SIGNED:	DATE SIGNED:
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2	8/03/08	2
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4	12/8/08	4
5	1/26/09	5
6	3/30/09	6
7	8/21/15	7
8	12/11/15	8
9	8/15/16	9

750 MOORE ROAD
TAX MAP PARCEL #58-27A-20
UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

Taylor Wiseman & Taylor
ENGINEERS | SURVEYORS | SCIENTISTS

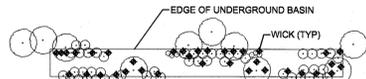
5 VALLEY SQUARE, SUITE 100, BLUE BELL, PA 19422
TELEPHONE: (267) 956-1020 FAX: (267) 956-1019
www.taylorwiseman.com

SCALE: DATE: APRIL 30, 2008 DRAWING NO: WCR-03337-A SHEET: 13 OF 16



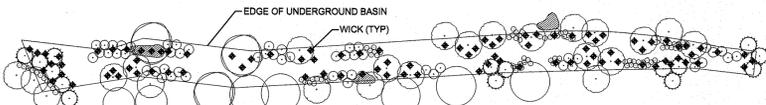
- NOTES:
 1. INSTALL THREE (3) POLYESTER WICKS PER CONDUIT.
 2. INSTALL 3 CONDUITS PER TREE AND 1 CONDUIT PER 100SF IN SHRUB AREAS.

WICK DETAIL
CROSS SECTION N.T.S.



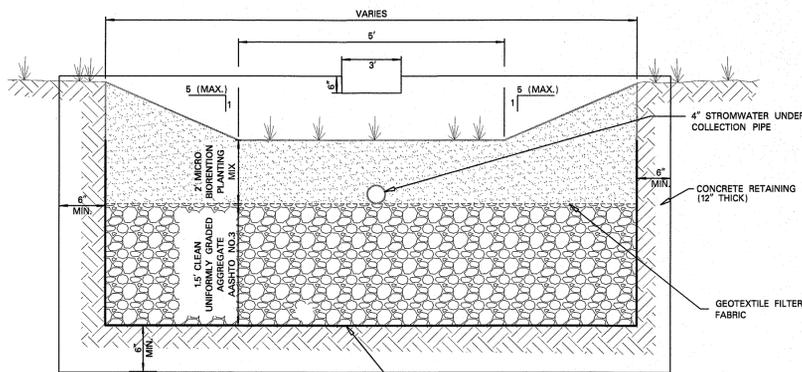
WICK LOCATION PLAN
SIDE YARD BIORETENTION GARDEN N.T.S.

- NOTE:
 36 TOTAL WICKS
 SEE DETAIL FOR INSTALLATION



WICK LOCATION PLAN
BIORETENTION GARDEN ALONG EIGHTH AVENUE N.T.S.

- NOTE:
 96 TOTAL WICKS
 SEE DETAIL FOR INSTALLATION



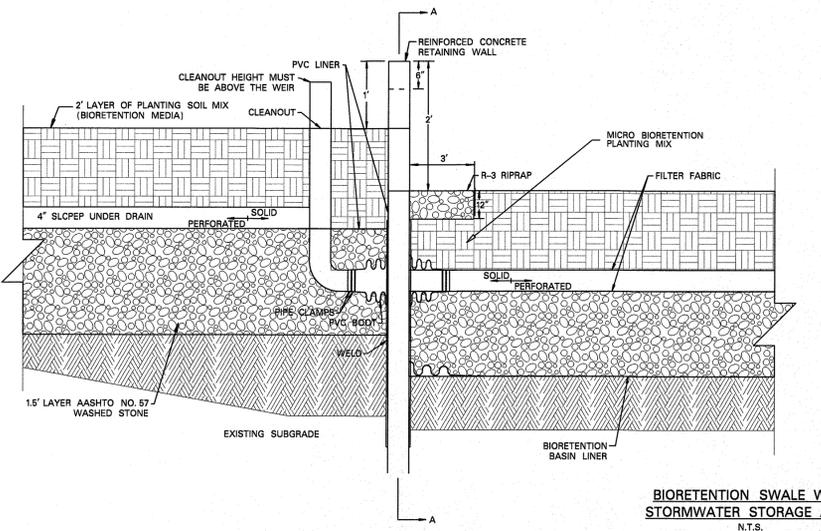
NOTES:
 1. WEARING COURSE GRADATION SHALL BE:

SEIVE SIZE	PERCENT GRADATION RECOMMENDED
1/2"	100
3/8"	95-90
#4	20-40
#8	5-10
#16	2-16
#200	0-3

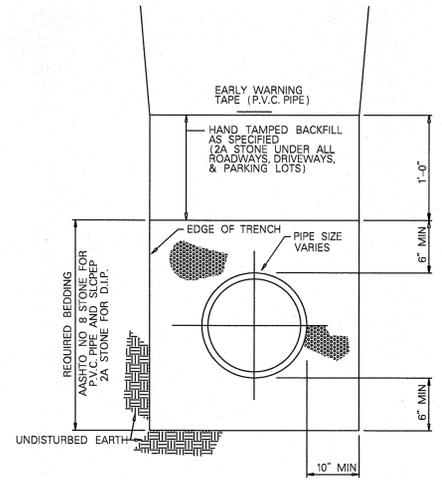
ASPHALT BITUMEN TO BE PG 76-22, CONTAINING STABLE PRE-BLENDED HOMOGENEOUS POLYMER MODIFIED ASPHALT BINDER USING STYRENE-BUTADIENE (SBI) OR STYRENE-BUTADIENE-STYRENE (SBS) FORMULATIONS 5.5-6.0% BY WEIGHT @ 280 DEGREES F.
 2. PLACE IN SINGLE LIFT, VOID RATIO TO BE MIN. 16%.
 3. SUBBASE & PAVING TO BE PROTECTED FROM SEDIMENT DURING & AFTER CONSTRUCTION.
 4. MANUFACTURER'S SPECIFICATION SHEETS FOR ALL PAVING AND STONE ITEMS ARE TO BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO THE PLACEMENT OF THE MATERIALS.
 5. EXCAVATION IN AREAS WHERE THE POROUS PAVEMENT IS PROPOSED SHOULD NOT BE WITHIN 6' OF SUBGRADE ELEVATION UNTIL ACTUAL INSTALLATION TO AVOID DISTURBING NATURAL SOIL CONDITIONS DURING CONSTRUCTION.
 6. SEDIMENT-LADEN WATER SHOULD NOT FLOW ONTO THE POROUS PAVEMENT. INSTALLATION OF THE POROUS PAVEMENT SHOULD OCCUR AS LATE AS POSSIBLE DURING THE CONSTRUCTION PERIOD.
 7. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED UNTIL THE SITE IS STABILIZED.
 8. SITE PAVING TO BE INSPECTED SEMI-ANNUALLY FOR SEDIMENT AND WATER BUILD-UP. PAVING TO BE CLEANED WITH A VACUUM TRUCK SEMI-ANNUALLY.
 9. CONTRACTOR MUST DEMONSTRATE EXPERIENCE UTILIZING POROUS PAVEMENT.

POROUS PAVING SECTION
NOT TO SCALE

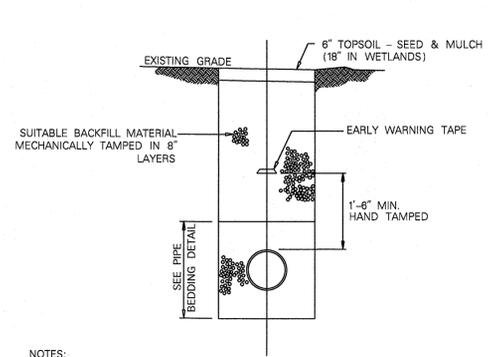
- Micro Bioretention Planting Mix
- The planting mix for the micro bioretention areas shall be a well-mixed composition of topsoil, compost and sand with the following ratios by volume:
 3 parts topsoil : 1 part compost : 1 part sand.
 - Topsoil shall be a clean, friable, loam topsoil, containing no organic matter, brickbats or other debris, or toxic materials. Contractor shall submit results of a topsoil test to the Project Administrator for review. Do not use topsoil until approved by the Project Administrator. Adjust topsoil in accordance with the analysis of topsoil test.
 - Compost shall be mature stable and weed free and produced by aerobic decomposition of organic matter. This product may not contain any visible refuse or other physical contaminants substances toxic to plants or over 5% sand, silt, clay or rock, material by dry weight. This product shall possess no objectionable odors. This product shall meet all applicable US EPA CFR Title 40 part 503 Standards for class A bio-soils.
 Physical requirements for Compost
 pH between 5-8.5; soluble salts <10dS/m; moisture 30-60% wet rate basis; organic matter 30-60% dry weight basis; particle physical contaminants <1% dry weight; chemical contaminants meet or exceed US EPA Class A standard, 40 CFR 503.13, tables 1 & 3 levels.
 - Sand shall be natural or river bank sand free of organic material, silt, clay, loam and debris.



BIORETENTION SWALE WITH
STORMWATER STORAGE AREA
N.T.S.

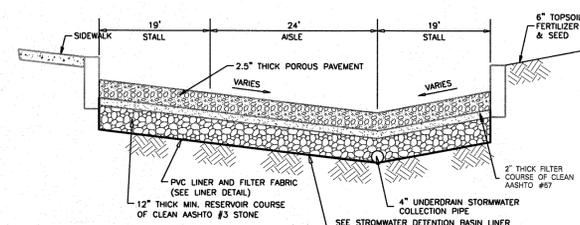


STANDARD PIPE BEDDING
NOT TO SCALE

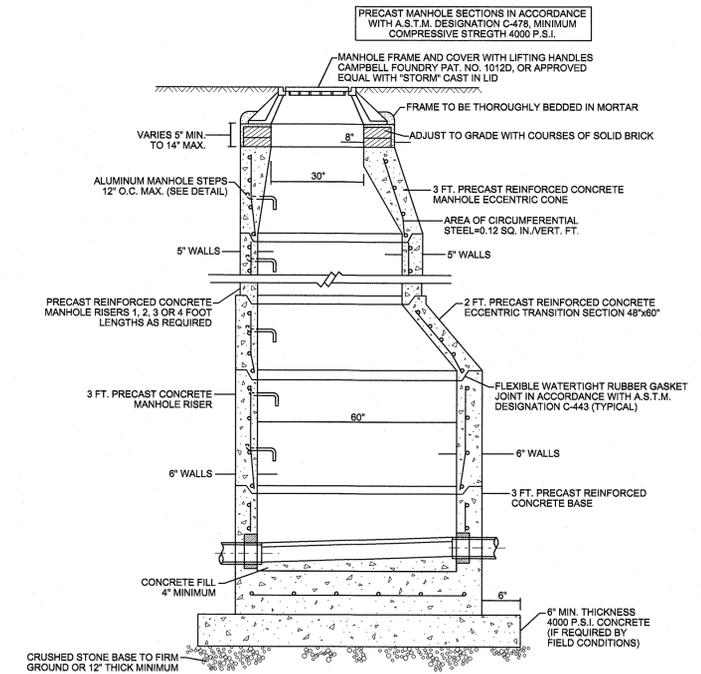


- NOTES:
 1. THE TOP 6" OF ALL TRENCHES IN NON-WETLAND AREAS SHALL BE BACKFILLED WITH TOPSOIL AND RESTORED IN ACCORDANCE WITH SECTION 02320 OF THE STANDARD SPECIFICATIONS.
 2. THE TOP 18" OF ALL TRENCHES IN WETLANDS SHALL BE BACKFILLED WITH PREVIOUSLY STRIPPED TOPSOIL AND RESTORED IN ACCORDANCE WITH SECTION 02320 OF THE STANDARD SPECIFICATIONS.

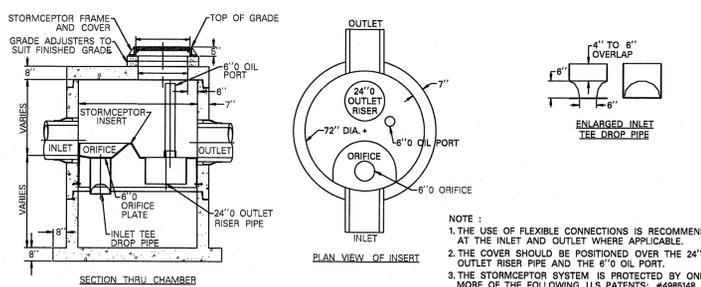
TRENCH AND SURFACE RESTORATION
IN UNPAVED AREAS
NOT TO SCALE



TYPICAL PARKING LOT PAVEMENT SECTION
N.T.S.

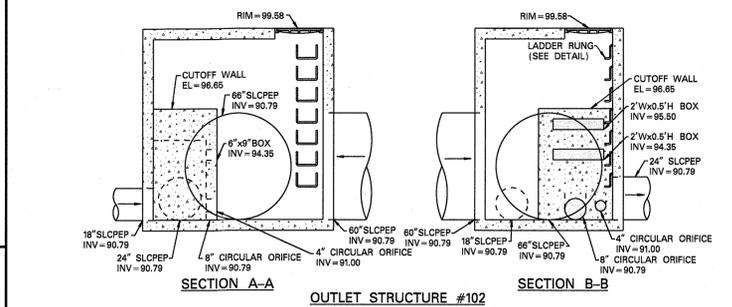
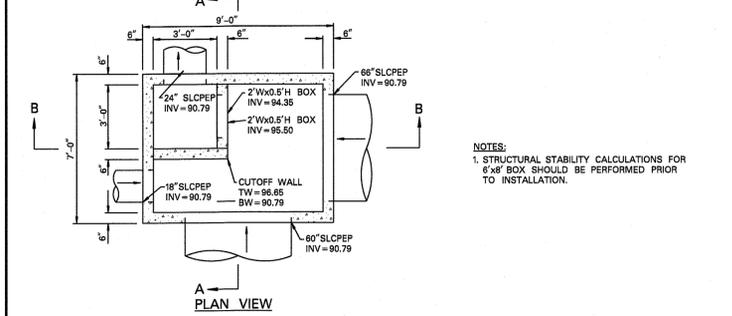


5' DIAMETER MANHOLE
PRECAST CONCRETE MANHOLE
(FOR PIPES 42" DIA. & 48" DIA.)
NOT TO SCALE

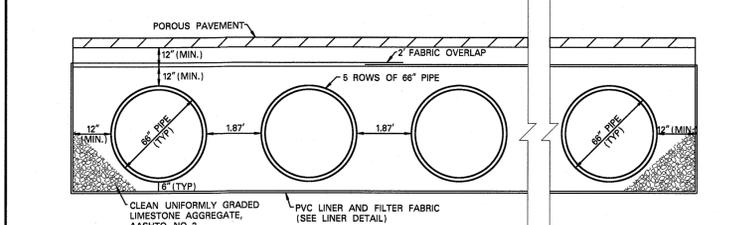


TYPICAL STORMCEPTOR INLET
NOT TO SCALE

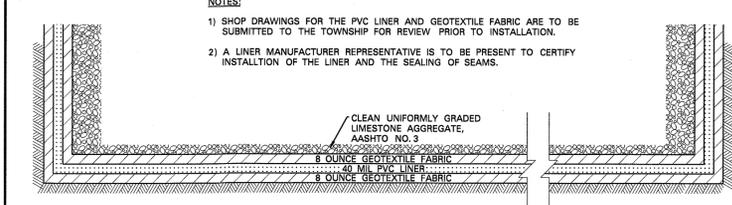
Hydro Conduit	BY: N. BALDWIN
STC 900 Precast Concrete Stormceptor	CK BY: [Signature]
1800 U.S. Gallon Capacity	DATE: SEPT 18, 2000
	SCALE: 1/4" = 1'-0"



OUTLET STRUCTURE #102
NOT TO SCALE



UNDERGROUND DETENTION BASIN '1'
NOT TO SCALE



STORM WATER DETENTION BASIN LINER CONSTRUCTION DETAIL
NOT TO SCALE

- NOTES:
 1) SHOP DRAWINGS FOR THE PVC LINER AND GEOTEXTILE FABRIC ARE TO BE SUBMITTED TO THE TOWNSHIP FOR REVIEW PRIOR TO INSTALLATION.
 2) A LINER MANUFACTURER REPRESENTATIVE IS TO BE PRESENT TO CERTIFY INSTALLATION OF THE LINER AND THE SEALING OF SEAMS.

REVISION NO. 8: AMENDED LAYOUT FOR LECESSE MOORE ROAD, LLC
 REVISION NO. 6: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED SEPTEMBER 17, 2015.
 REVISION NO. 7: REVISED PER MCCO REVIEW LETTER DATED AUGUST 5, 2015.
 REVISION NO. 5: REVISED PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED FEBRUARY 6, 2009.
 REVISION NO. 4: REVISED PER 1-22-09 BOARD OF SUPERVISORS MEETING.
 REVISION NO. 3: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED DECEMBER 1, 2008 AND MCCO COMMENTS.
 REVISION NO. 2: PER MCCO SUBMISSION.
 REVISION NO. 1: PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED JULY 10, 2008.

REVISIONS	NO.	DATE
1	8/11/08	
2	9/03/08	
3	10/30/08	
4	12/8/08	
5	1/28/09	
6	3/3/09	
7	8/21/15	
8	12/11/15	
9	8/19/19	

DESIGNED: [Signature] DATE: [Date]
 DRAWN: [Signature] YAF
 CHECKED: [Signature] DATE: [Date]
 REVISIONS: [Signature] DATE: [Date]

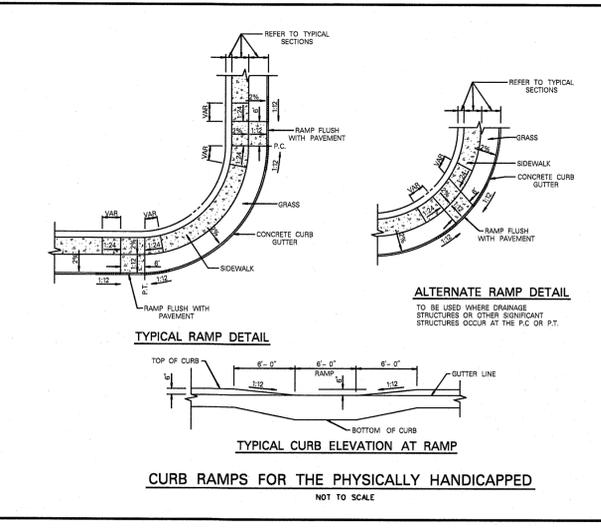
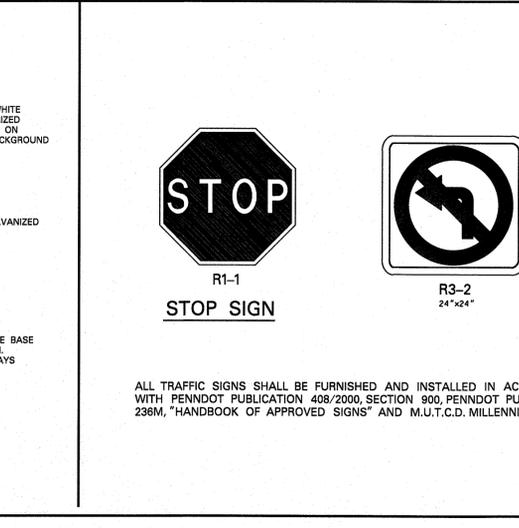
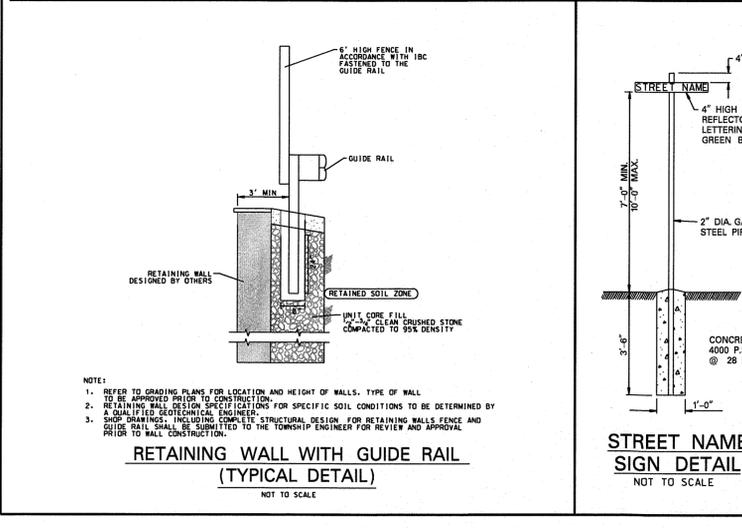
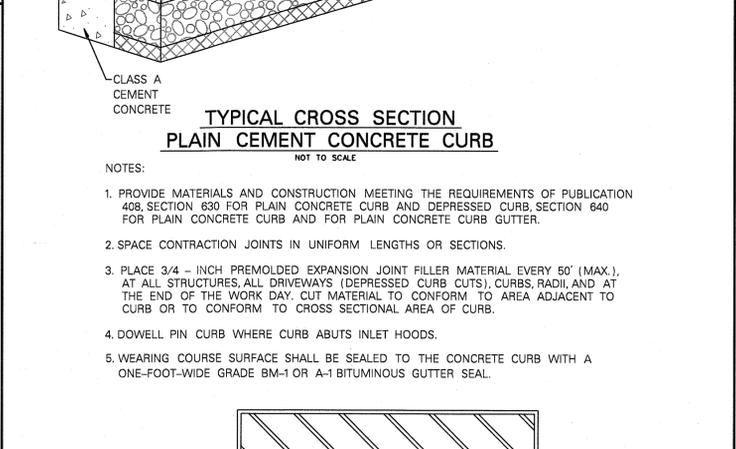
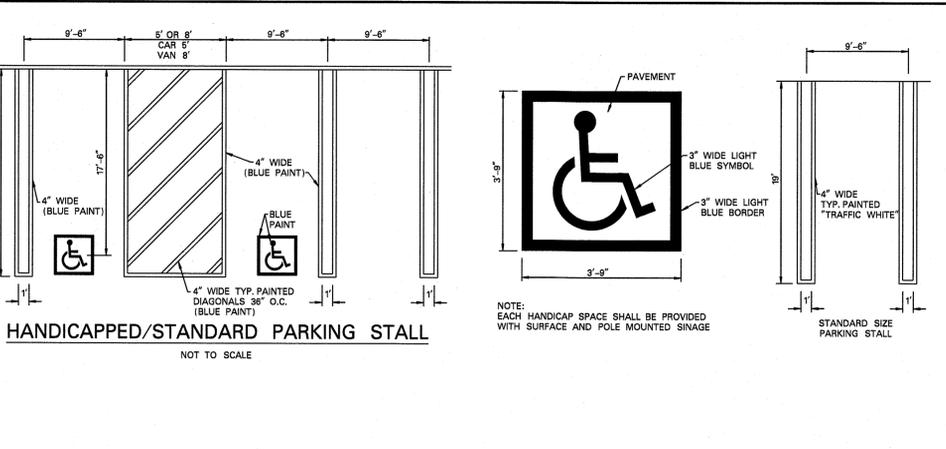
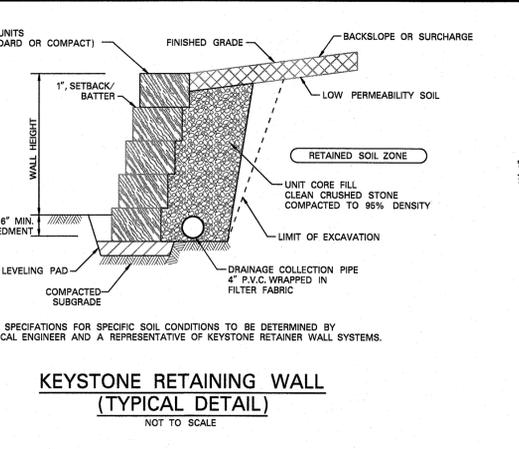
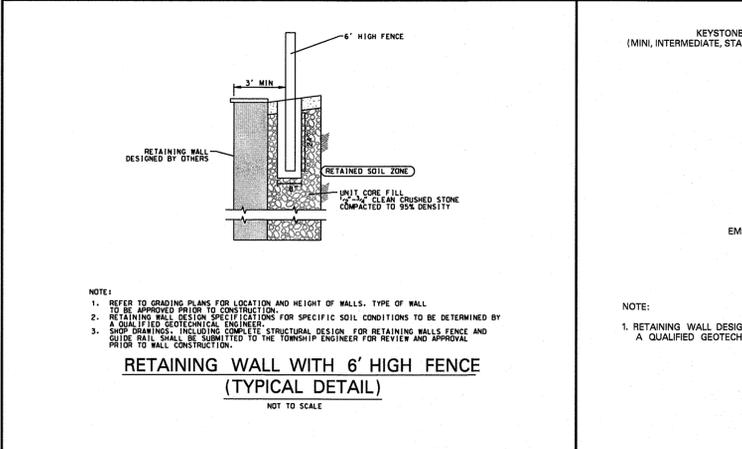
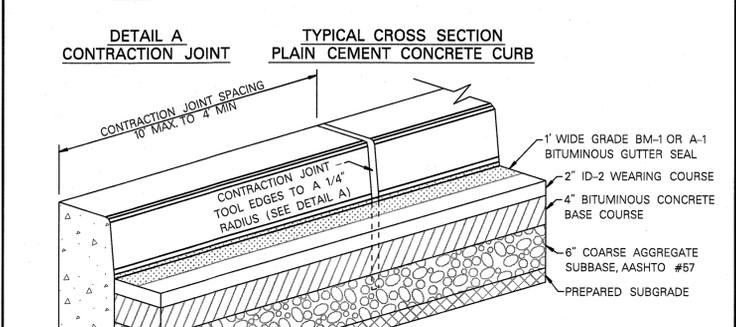
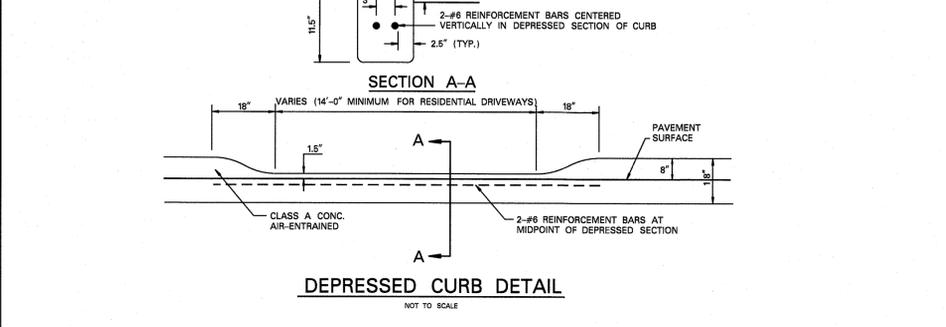
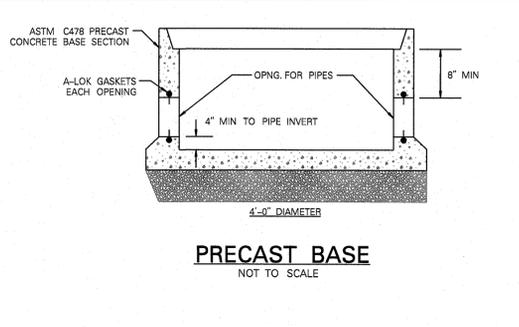
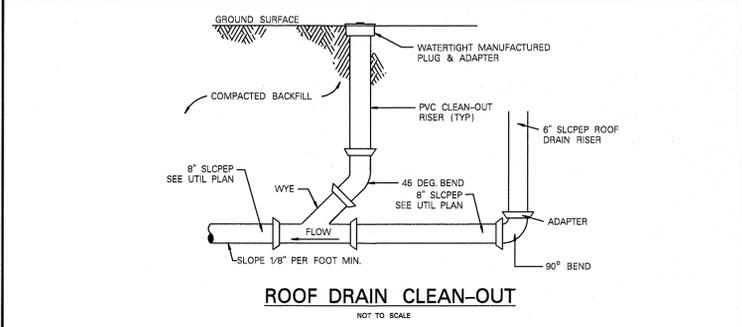
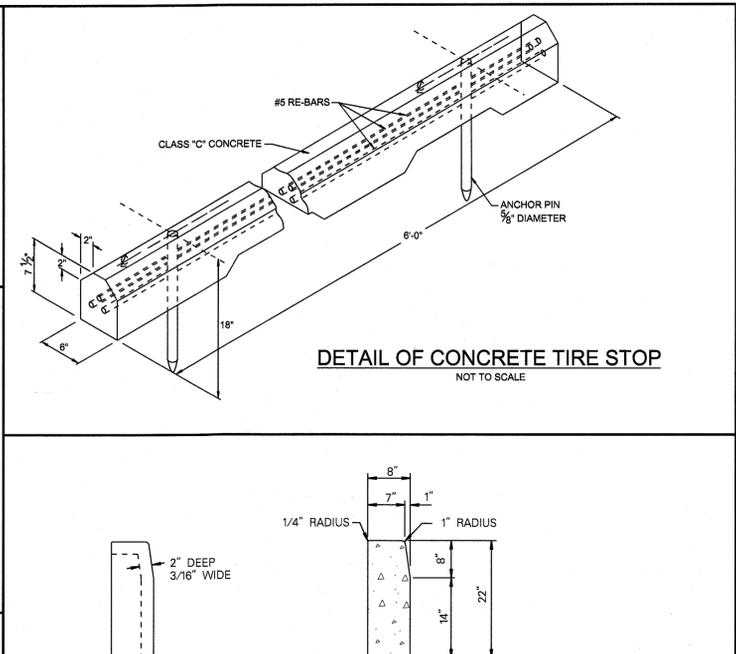
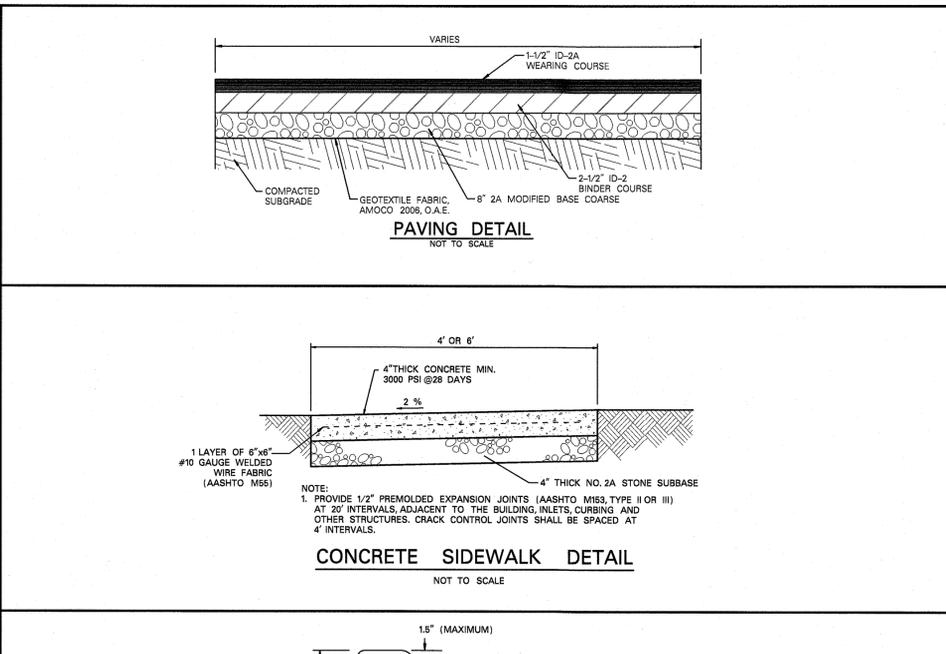
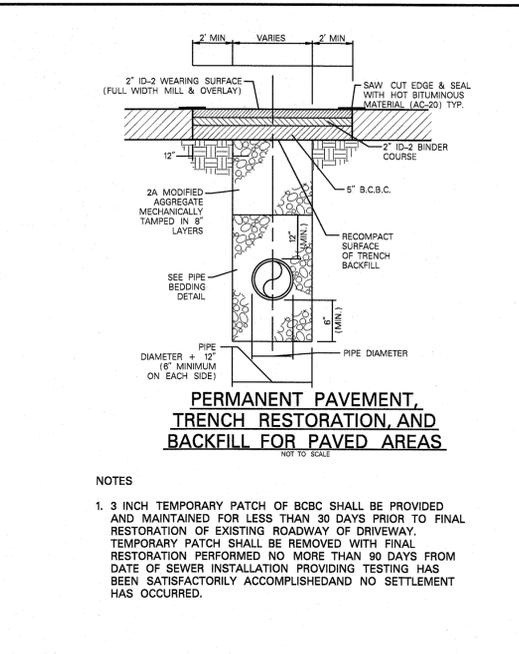
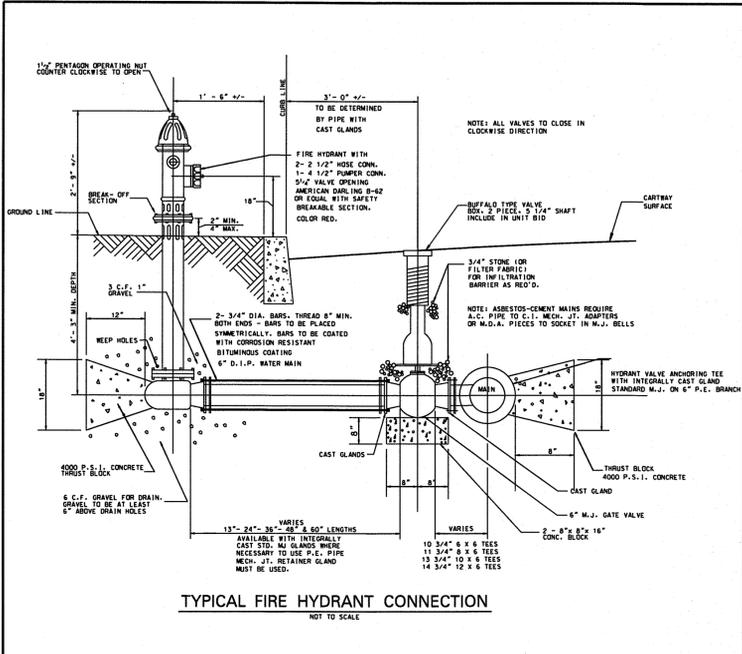
PCSM CONSTRUCTION DETAILS

750 MOORE ROAD
 TAX MAP PARCEL #58-27A-20
 UPPER MERION TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA

Taylor Wiseman & Taylor
 ENGINEERS / SURVEYORS / SCIENTISTS

5 VALLEY SQUARE, SUITE 100, BLUE BELL, PA 19422
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SCALE: AS NOTED DATE: APRIL 30, 2008 DRAWING NO: WC8-03337-A SHEET: 14 OF 16



LOADING ZONE
NOT TO SCALE

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NOT TO SCALE

REVISION NO. 8 AMENDED LAYOUT FOR LEICESTER MOORE ROAD, LLC
 REVISION NO. 8 PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED SEPTEMBER 17, 2016.
 REVISION NO. 7 REVISED PER MCCO SUBMISSION REVIEW LETTER DATED AUGUST 5, 2016.
 REVISION NO. 6 PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED FEBRUARY 5, 2009.
 REVISION NO. 5 REVISED PER 1-25-09 BOARD OF SUPERVISORS MEETING.
 REVISION NO. 4 PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED DECEMBER 1, 2008 AND MCCO COMMENTS.
 REVISION NO. 3 PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED SEPTEMBER 12, 2008.
 REVISION NO. 2 PER MCCO SUBMISSION.
 REVISION NO. 1 PER TOWNSHIP ENGINEER'S REVIEW LETTER DATED JULY 10, 2008.

REVISION NO.	DATE	BY
1	8/11/08	
2	9/03/08	
3	10/30/08	
4	12/08/08	
5	1/26/09	
6	3/3/09	
7	8/21/15	
8	12/11/15	
9	8/19/16	

CONSTRUCTION DETAILS

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SCALE: AS NOTED DATE: APRIL 30, 2008 DRAWING NO: WCB-03337-A SHEET: 15 OF 16
 ENGINEER: NO. FE073278

