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**ENVIRONMENTAL INDEMNIFICATION**

**UNFORESEEN SUBSURFACE CONDITIONS**

YERKES ASSOCIATES, INC.'S SCOPE OF SERVICES IS LIMITED TO SITE DEVELOPMENT ENGINEERING INCLUDING THE DESIGN OF STORM WATER MANAGEMENT SYSTEMS IN ACCORDANCE WITH WHITEMARSH TOWNSHIP'S REQUIREMENTS FOR THE PROJECT. IT DOES NOT INCLUDE SERVICES RELATED TO HAZARDOUS OR TOXIC MATERIALS OR CHEMICALS OR PRODUCTS (IF ANY EXIST ON THE SITE). YERKES ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY FOR CONSEQUENTIAL DAMAGES FOR SERVICES RENDERED OR DESIGNS CONSTRUCTED IN THE EVENT HAZARDOUS OR TOXIC MATERIALS OR CHEMICALS OR PRODUCTS ARE DISCOVERED. SHOULD ANY PARTY ENCOUNTER HAZARDOUS OR TOXIC MATERIALS OR CHEMICALS AT THE JOB SITE, OR SHOULD IT BECOME KNOWN IN ANY WAY THAT SUCH MATERIALS MAY BE PRESENT AT THE JOB SITE, OR ADJACENT AREAS THAT MAY AFFECT THE PERFORMANCE OF YERKES ASSOCIATES, INC.'S SERVICES, THE CLIENT SHALL RETAIN APPROPRIATE SPECIALISTS OR CONTRACTORS TO IDENTIFY, ABATE AND/OR REMOVE THE MATERIALS, AND WARRANT THAT THE JOB SITE IS IN FULL COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS.

**OWNERSHIP OF INSTRUMENTS OF SERVICE**

THIS DOCUMENT AND ALL INFORMATION AND WORK PRODUCT REPRESENTED BY AND CONTAINED HEREIN IS THE SOLE AND EXCLUSIVE PROPERTY OF YERKES ASSOCIATES, INC. THE INFORMATION CONTAINED HEREIN IS ONLY FOR LIMITED USE BY THE INTENDED RECIPIENT, AND NO LICENSE, PERMISSION OR AUTHORITY IS EXTENDED, DIRECTLY OR IMPLIED, TO ANY PARTY WITHOUT EXPRESS WRITTEN PERMISSION OF YERKES ASSOCIATES, INC. YERKES ASSOCIATES, INC. SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREON.

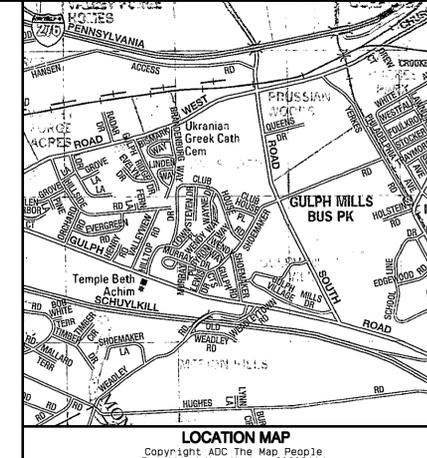
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**NOTES:**

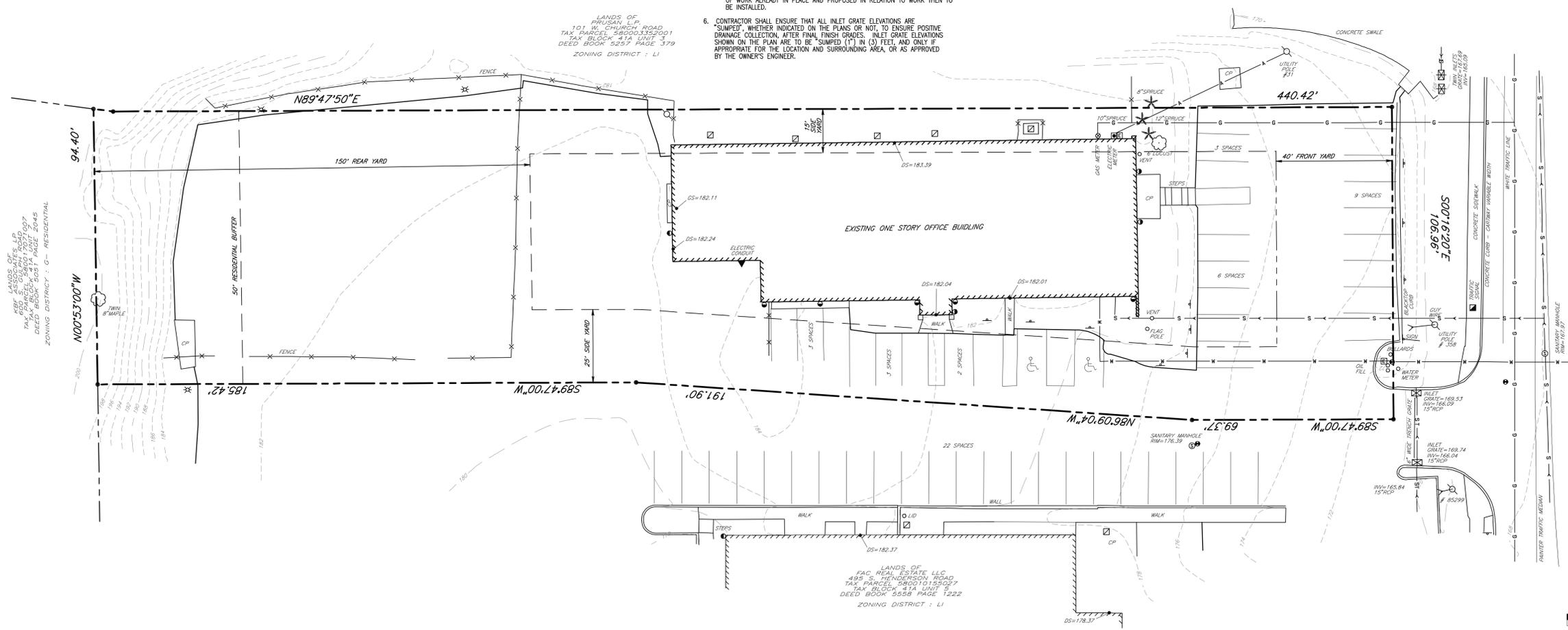
- SEE SHEETS 5-6 FOR EROSION AND SEDIMENTATION CONTROL AND CONSTRUCTION NOTES AND DETAILS.
- PERMANENT REMOVAL OF TOPSOIL FROM LAND WITHIN THE TOWNSHIP IS PROHIBITED.
- WHENEVER SEDIMENTATION IS CAUSED BY AN EARTH DISTURBANCE ACTIVITY, IT SHALL BE THE RESPONSIBILITY OF THE PERSON CAUSING SUCH SEDIMENTATION TO REMOVE IT FROM ALL AFFECTED SURFACES DRAINAGE SYSTEMS AND WATERCOURSES, ON SITE AND OFF SITE, AND TO REPAIR ANY DAMAGE AT HIS EXPENSE IMMEDIATELY.
- THE PLANS FOR THE EARTH DISTURBANCE ACTIVITY, BEARING THE STAMP OF APPROVAL OF THE TOWNSHIP ENGINEER, SHALL BE MAINTAINED AT THE SITE DURING THE PROGRESS OF THE GRADING WORK AND UNTIL THE WORK HAS BEEN COMPLETED.
- THE PERMIT HOLDER WILL NOTIFY THE TOWNSHIP ENGINEER IN ORDER TO OBTAIN INSPECTIONS AT LEAST 48 HOURS BEFORE THE INSPECTION IS TO BE MADE FOR INITIAL INSPECTION, ROUGH GRADING, DRAINAGE FACILITIES, BMPs, SPECIAL STRUCTURES AND FINAL INSPECTION.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE OR ALTER ANY EXISTING STORMWATER BMP, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.

**GENERAL CONTRACTOR SITE NOTES:**

- CALL BEFORE YOU DIG 1-800-242-1776 ACT 172 REQUIREMENTS - YERKES ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY STRUCTURES AND LINES AS SHOWN ON THE PLANS. NOR DOES YERKES ASSOCIATES, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES OR LINES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF THE WORK.
- UTILITY TIE-INS: OWNER SHALL NOTIFY ALL UTILITIES PRIOR TO THE START OF THE WORK FOR THE APPROPRIATE PERMITS AND PROCEDURES REQUIRED TO TIE-INTO THE RESPECTIVE MAINS. THIS INCLUDES BUT IS NOT LIMITED TO; SANITARY, DOMESTIC WATER, GAS AND ELECTRIC.
- DURING THE CONSTRUCTION PROCEDURE, THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS THAT MAY BE REQUIRED TO PREVENT ANY PHYSICAL DAMAGE OR CHANGES FROM OCCURRING BEYOND THE LIMITS OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE BEYOND THE LIMITS OF WORK FOR ANY AND ALL DAMAGE.
- THE CONTRACTOR SHALL MAINTAIN SUFFICIENT BARRICADES AND WARNING SIGNS DURING THE PROGRESS OF THE WORK BOTH DAY AND NIGHT. SHALL MAINTAIN SUFFICIENT OTHER BARRICADES, LIGHTS, DANGER SIGNALS, AND OTHER DEVICES FOR THE SAFETY OF THE PUBLIC, AND THE WORK MUST BE CONDUCTED AT ALL TIMES, IN SUCH A MANNER, AS TO OFFER THE LEAST INCONVENIENCE TO ADJACENT PROPERTY OWNERS.
- LINE AND LEVELS:
  - THE CONTRACTOR SHALL HAVE ON THE SITE A CALIBRATED SURVEY INSTRUMENT AT ALL TIMES TO ENSURE PROPER GRADING.
  - THE CONTRACTOR WILL FURNISH THE ELEVATIONS FOR SUCH POINTS AS ARE REQUIRED AS SHOWN ON THE PLANS FOR CONSTRUCTION AND/OR TO ENSURE POSITIVE DRAINAGE OF ALL NEWLY PAVED SURFACES AND YARD SURFACES.
  - THE CONTRACTOR SHALL WORK ACCURATELY TO BENCH MARKS AND TO PROPER ELEVATIONS AND DIMENSIONS, CHECKING CONDITIONS AND DETAILS OF WORK ALREADY IN PLACE AND PROPOSED IN RELATION TO WORK THEN TO BE INSTALLED.
- CONTRACTOR SHALL ENSURE THAT ALL INLET GRATE ELEVATIONS ARE "SUMPED", WHETHER INDICATED ON THE PLANS OR NOT, TO ENSURE POSITIVE DRAINAGE COLLECTION, AFTER FINAL FINISH GRADES. INLET GRATE ELEVATIONS SHOWN ON THE PLAN ARE TO BE "SUMPED (1") IN (3) FEET, AND ONLY IF APPROPRIATE FOR THE LOCATION AND SURROUNDING AREA, OR AS APPROVED BY THE OWNER'S ENGINEER.



**LOCATION MAP**  
Copyright © The Map People  
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**LEGEND**

	EXISTING
BUILDING LINE	---
EDGE OF PAVEMENT	---
CURB	---
STORMWATER PIPE	ST
SANITARY PIPE	S
GAS PIPE	G
WATER PIPE	W
FENCE	X-X
2 FT. CONTOUR INTERVAL	102
10 FT. CONTOUR INTERVAL	100
TREES	★
WATER VALVE	⊙
SIGN	+
ELECTRIC BOX	⊠
AIR CONDITIONER	⊠
UTILITY POLE	⊠
GUY WIRE	⊠
LAMP POST	⊠
INLET	⊠
PROPERTY LINE	---
BUILDING SETBACK LINE	---



TOTAL LOT AREA = 1.010 ACRES OR 43,974 SQUARE FEET

ZONING DISTRICT: LI - LIMITED INDUSTRIAL

PRINCIPLE USE: FURNITURE STORE

	REQUIRED	EXISTING
BUILDING SETBACKS		
FRONT YARD	40' (MIN)	87.6'
SIDE YARD	15' (MIN)	9.6'
SIDE YARD AGGREGATE	40' (MIN)	33.2'
REAR YARD	20' (MIN)	198.7'
RESIDENTIAL BUFFER	50' (MIN) PARKING 150' (MIN) BUILDING	26.7' 198.7'
BUILDING COVERAGE	75% (MAX)	18.9% 8,304 SF
GREEN AREA	15% (MIN)	16.8% 7,384 SF
BUILDING HEIGHT	50' (MAX)	EXISTING

FOR COMPLETE ZONING INFORMATION REFER TO UPPER MERION TOWNSHIP ZONING ORDINANCE, CHAPTER 165

**IMPERVIOUS COVERAGE SUMMARY**

	EXISTING
BUILDING	8,304 SF
PAVING	27,690 SF
WALKWAYS AND PADS	596 SF
TOTAL	36,590 SF

**SOILS INFORMATION**

SOILS IN THE PROPOSED PROJECT AREA ARE:  
UgB - URBAN LAND - 0 TO 8 PERCENT SLOPES

MAP UNIT COMPOSITION  
URBAN LAND: 90 PERCENT  
MINOR COMPONENTS: 10 PERCENT  
ESTIMATES ARE BASED ON OBSERVATIONS, DESCRIPTIONS, AND TRANSECTS OF THE MAPUNIT.  
DESCRIPTION OF URBAN LAND

SETTING  
PARENT MATERIAL: PAVEMENT, BUILDINGS AND OTHER ARTIFICIALLY COVERED AREAS HUMAN TRANSPORTED MATERIAL

INTERPRETIVE GROUPS  
LAND CAPABILITY CLASSIFICATION (IRRIGATED): NONE SPECIFIED  
LAND CAPABILITY CLASSIFICATION (NONIRRIGATED): 8S  
HYDRIC SOIL RATING: NO

**SITE GEOLOGY**

UNIT NO: 173  
MAP SYMBOL: XO  
NAME: OCTORARO FORMATION  
AGE: PROBABLY LOWER PALEOZOIC  
LITH1: ALBITE-CHLORITE SCHIST  
LITH2: PHYLLITE  
LITH3: HORNBLLENDE GNEISS

**PLAN NOTES:**

- THIS PLAN IS BASED UPON A FIELD SURVEY OCTOBER 2016.
- THIS PLAN HAS BEEN PREPARED WITHOUT THE AID OF A TITLE REPORT.
- THIS PREMISES MAY HAVE UNDERGROUND UTILITIES THAT HAVE NOT BEEN LOCATED NOR SHOWN.
- ELEVATION DATUM IS APPROXIMATE USGS.
- THERE ARE NO FEMA FLOODPLAIN BOUNDARIES WITHIN THE PROJECT AREA PER FLOOD INSURANCE RATE MAP NUMBER 42091C0353G, DATED MARCH 2, 2016.
- THE RECEIVING STREAM IS THE SCHUYLKILL RIVER (WWF, WF)

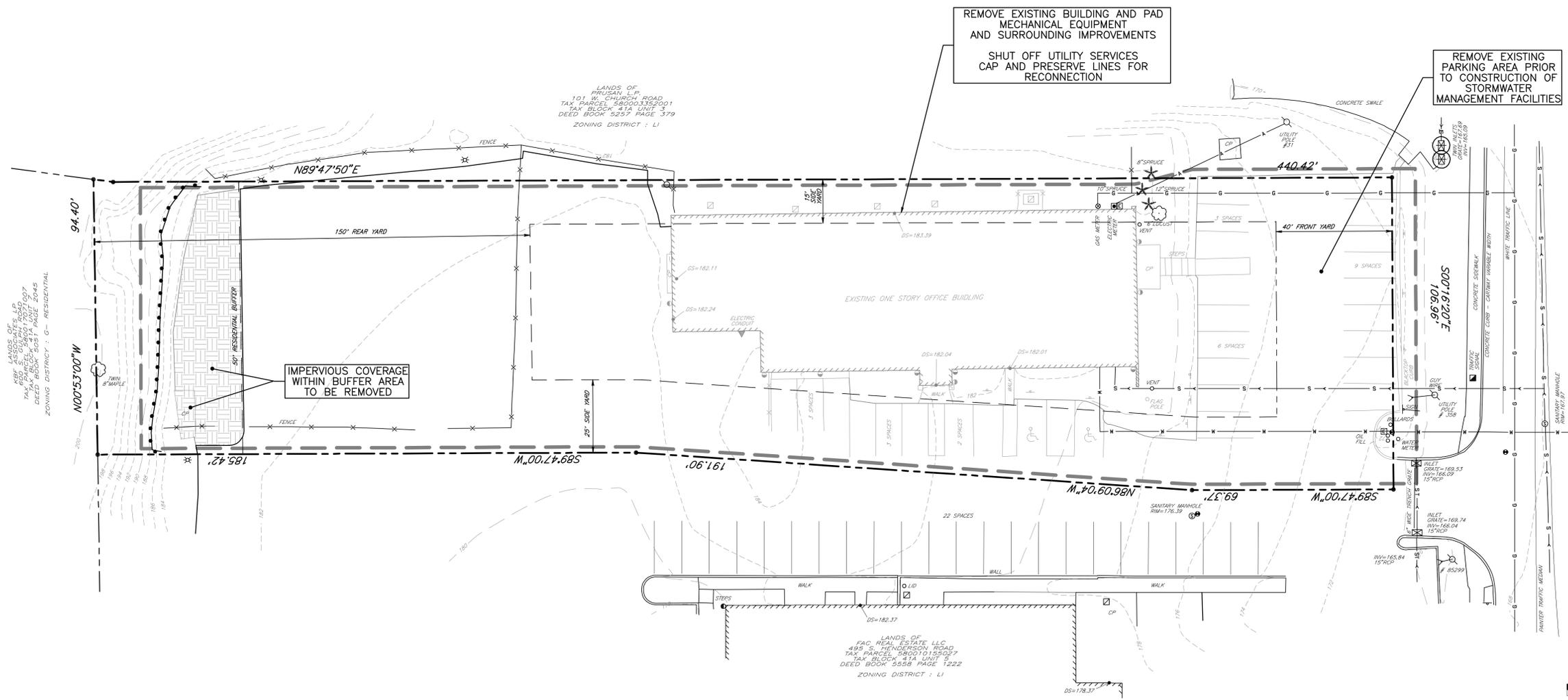
**SHEET INDEX**

SHEET INDEX	SHEET NUMBER
EXISTING CONDITIONS PLAN	1
DEMOLITION AND EROSION CONTROL PLAN	2
SITE IMPROVEMENTS PLAN	3
POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN	4
EROSION AND SEDIMENTATION CONTROL NOTES AND DETAIL	5
CONSTRUCTION DETAILS	7

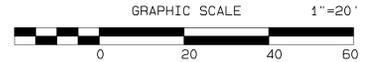
NO.	DATE	REVISION COMMENT
<b>EXISTING CONDITIONS PLAN</b>		
485 S. HENDERSON ROAD PREPARED FOR <b>COLONIAL ELECTRIC</b>		
UPPER MERION TOWNSHIP • MONTGOMERY COUNTY • PENNSYLVANIA		
<b>Yerkes</b>		
<b>YERKES ASSOCIATES, INC.</b> CONSULTING ENGINEERS • LAND SURVEYORS • LAND PLANNERS		
1444 PHOENIXVILLE PIKE • P.O. BOX 1568 • WEST CHESTER, PA 19380 TEL: (610) 644-4254 • FAX: (610) 640-0771		

PROJECT - W-16-2215-003  
DATE - OCTOBER 12, 2016  
SCALE - 1" = 20'  
DRAWN - EJS  
CHECKED - FEG  
CAD FILE - W2215 ENG  
TAX PARCEL - 580010155002  
PLAN NO. = TAX BLOCK - UNIT  
**M-58-41A-4**  
SHEET 1 OF 8

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SERIAL #



HENDERSON ROAD  
STATE ROUTE 3029 - VARIABLE WIDTH



TOTAL LOT AREA = 1.010 ACRES OR 43,974 SQUARE FEET

LEGEND

- EXISTING**
- BUILDING LINE
  - EDGE OF PAVEMENT
  - CURB
  - STORMWATER PIPE
  - SANITARY PIPE
  - GAS PIPE
  - WATER PIPE
  - FENCE
  - 2 FT. CONTOUR INTERVAL
  - 10 FT. CONTOUR INTERVAL
  - TREES
  - WATER VALVE
  - SIGN
  - ELECTRIC BOX
  - AIR CONDITIONER
  - UTILITY POLE
  - GUY WIRE
  - LAMP POST
  - INLET
  - PROPERTY LINE
  - BUILDING SETBACK LINE

E & S LEGEND

- LIMIT OF DISTURBANCE
- STANDARD SILT FENCE
- INLET PROTECTION

DEMOLITION PLAN AND EROSION CONTROL PLAN

485 S. HENDERSON ROAD  
PREPARED FOR

**COLONIAL ELECTRIC**



YERKES ASSOCIATES, INC.  
CONSULTING ENGINEERS \* LAND SURVEYORS \* LAND PLANNERS

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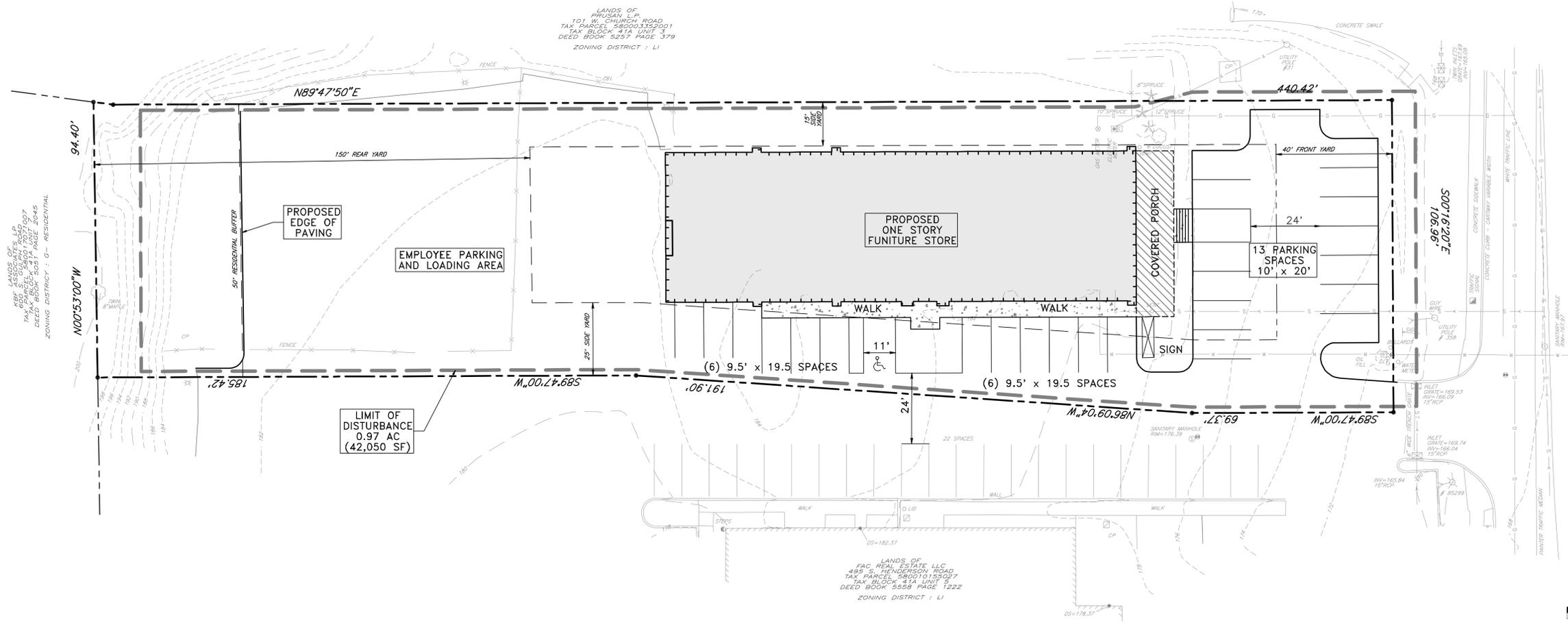
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SCALE - 1" = 20'  
DRAWN - EJS  
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CAD FILE - W2215.ENG  
TAX PARCEL - 580010155002

PLAN NO. = TAX BLOCK - UNIT  
**M-58-41A-4**

SHEET 2 OF

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HENDERSON ROAD  
STATE ROUTE 3029 - VARIABLE WIDTH



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- UTILITY POLE
- GUY WIRE
- LAMP POST
- INLET
- PROPERTY LINE
- BUILDING SETBACK LINE

SITE IMPROVEMENTS PLAN

485 S. HENDERSON ROAD  
PREPARED FOR

**COLONIAL ELECTRIC**

UPPER MERION TOWNSHIP • MONTGOMERY COUNTY • PENNSYLVANIA

**Yerkes**

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PLAN NO. -	TAX BLOCK - UNIT
	<b>M-58-41A-4</b>
	<b>SHEET 3 OF</b>

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