

Upper Merion Township Comprehensive Plan

Steering Committee Meeting
November 14, 2016



Upper Merion Comprehensive Plan

- ❑ WELCOME
- ❑ Introductions
 - ❑ Member Introduction
 - ❑ Comprehensive Plan Development Process
- ❑ Purpose of a Comprehensive Plan and Timeline
- ❑ Township History and Background
- ❑ Moving the Plan(ning) Forward

Comprehensive Plan Development

- ❑ **Steering Committee representation established by Board of Supervisors**
 - ❑ Representatives from:
 - ❑ Planning Commission (2)
 - ❑ Parks and Recreation Board
 - ❑ Transportation Authority
 - ❑ Utility Authority
 - ❑ Economic and Community Development Committee
 - ❑ Environmental Advisory Council
 - ❑ Police Patrol Unit
 - ❑ Fire and Rescue Services
- ❑ **Steering Committee guides preparation of Plan and provides policy direction, including incorporation of public input**

Comprehensive Plan Development

- ❑ **Steering Committee Guided by Planning Staff**
 - ❑ Township Planning Staff
 - ❑ Rob Loeper, AICP, Township Planner
 - ❑ Kyle Brown, Associate Township Planner
 - ❑ MCPC Planning Staff
 - ❑ Eric Jarrell, Assistant Section Chief, Community Planning
 - ❑ Jamie Magaziner, Community Planner
- ❑ **MCPC, with coordination and oversight from the Township Planning Staff, will:**
 - ❑ Complete background work and analysis
 - ❑ Mapping
 - ❑ Coordinate public outreach
 - ❑ Prepare draft documents for discussion and review by Steering Committee

Purpose of a Comprehensive Plan

- ❑ Confirm/Reestablish a long-range community vision (2040)
- ❑ Bring all community-wide planning work “under one roof”
- ❑ Evaluate policies, priorities, and guidelines to achieve the community’s vision
- ❑ Provides guidance for policy-making, and decisions regarding infrastructure, zoning amendments, public investments, etc.

Elements of a Comprehensive Plan

- Statement of **Objectives**
- Plan for **Land Use**
- Plan to Meet **Housing** Needs
- Plan for **Movement** of People and Goods
- Plan for **Community Facilities and Utilities**
- Plan for the Protection of **Natural and Historic Resources**
- Plan for the Reliable Supply of **Water**
- Discussion of Short- and Long-Range **Implementation Strategies**
- Statement of the **Interrelationships** between Plan Components
- Statement of **Consistency** with Adjacent Municipalities' and the County's Comprehensive Plan

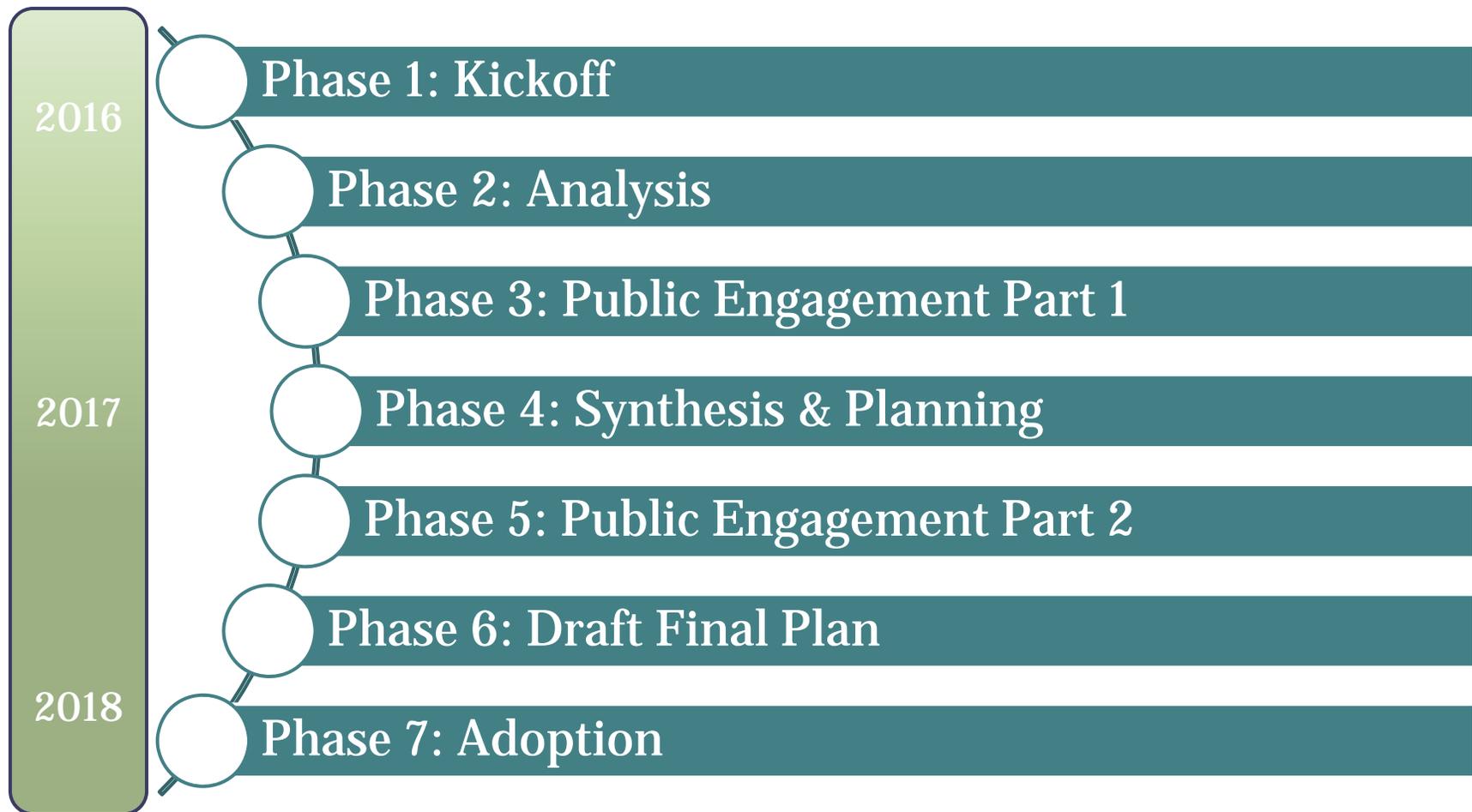
Plan Development Process

- ❑ **Steering Committee will meet monthly (Fall 2016 – Fall 2017)**
 - ❑ Develop plan vision and goals and objectives
 - ❑ Review and provide feedback on issue white papers and draft plan elements
 - ❑ Develop recommendations for implementation policies and actions
 - ❑ Present relevant information related to their expertise
- ❑ **Review and select public outreach opportunities (Winter 2017)**
 - ❑ Ongoing social media outlets: Comp Plan Website, Facebook, Twitter, Township Newsletter
 - ❑ Consider conducting a community survey
 - ❑ Information sharing at community events
 - ❑ Public workshops (initial background stage and draft plan stage)
 - ❑ Community input for issue identification
 - ❑ Provide input regarding draft recommendations

Plan Development Process

- ❑ Begin assembly of draft plan for public review (Summer 2017)
- ❑ Hold public workshop for draft plan (Fall 2017)
- ❑ Steering Committee will integrate public input and finalize draft plan for official comment period (Winter 2017-18)
- ❑ Adoption early 2018

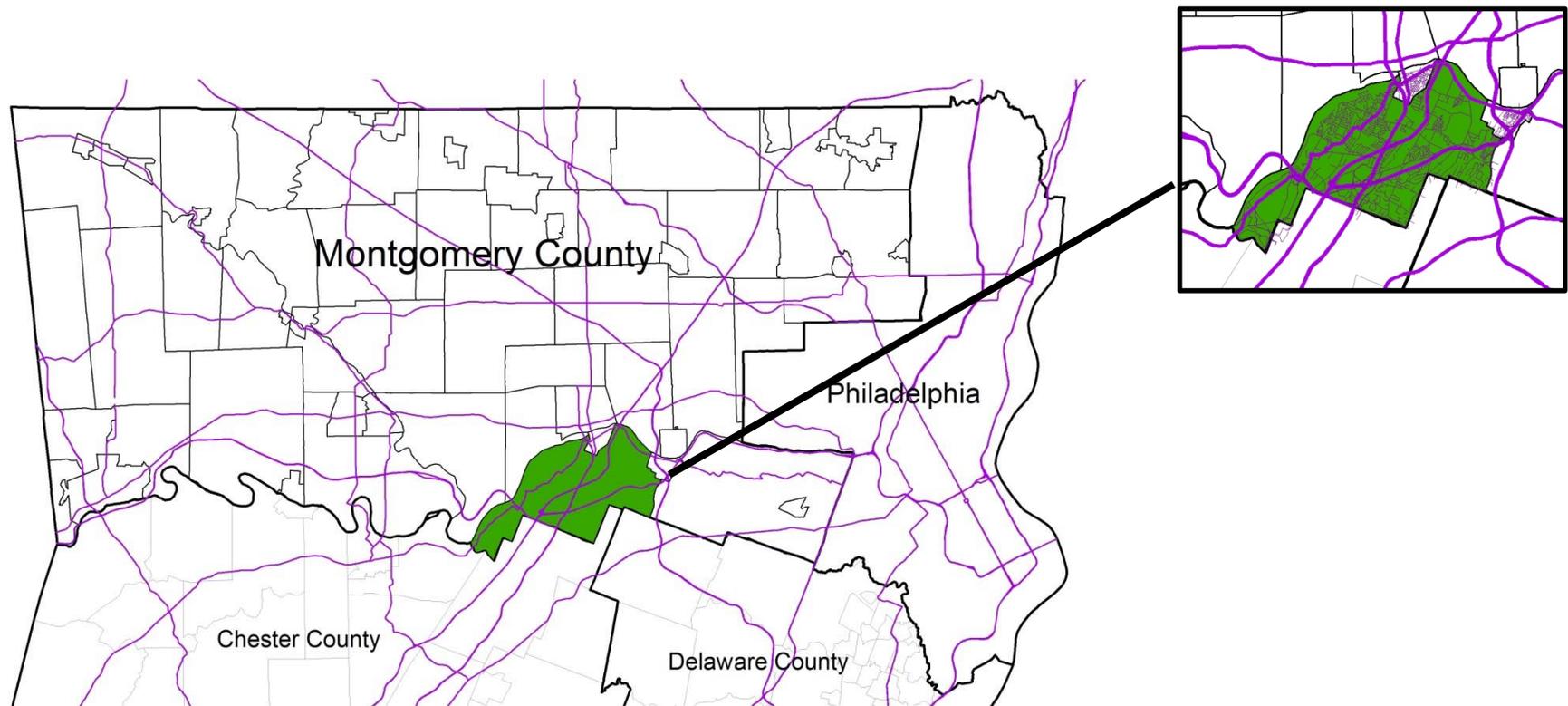
Project Timeline and Phases



Township History and Background

- ❑ Where have we come from...
- ❑ Where are we right now...
- ❑ Where are we going...

Township History and Background



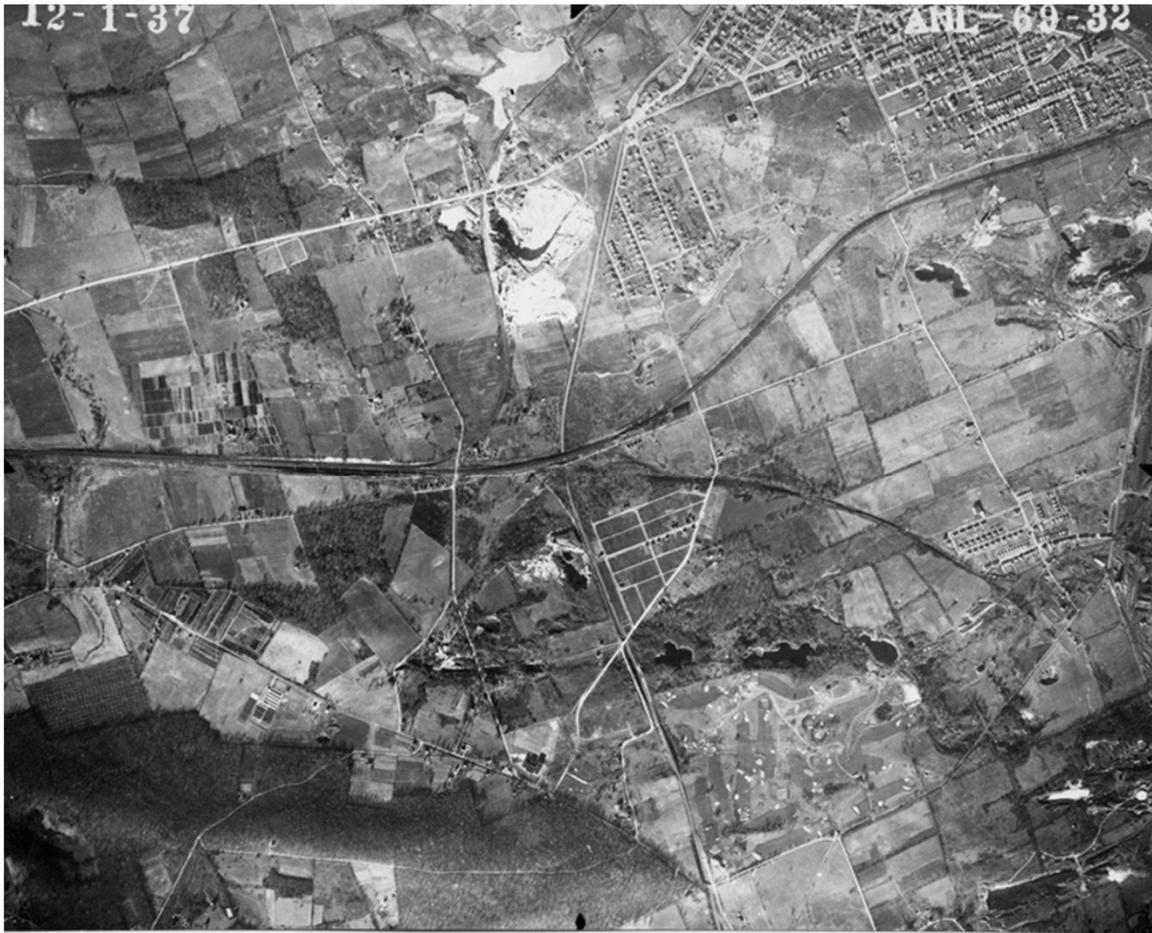
Where Have We Come From

- A community at the crossroads



- 1940 population of 6,143

Where Have We Come From



- 1940 population of 6,143

Where Have We Come From



- 1950 population of 6,404
- 4.3% growth from 1940
- 64% of land was vacant in 1952

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Where Have We Come From



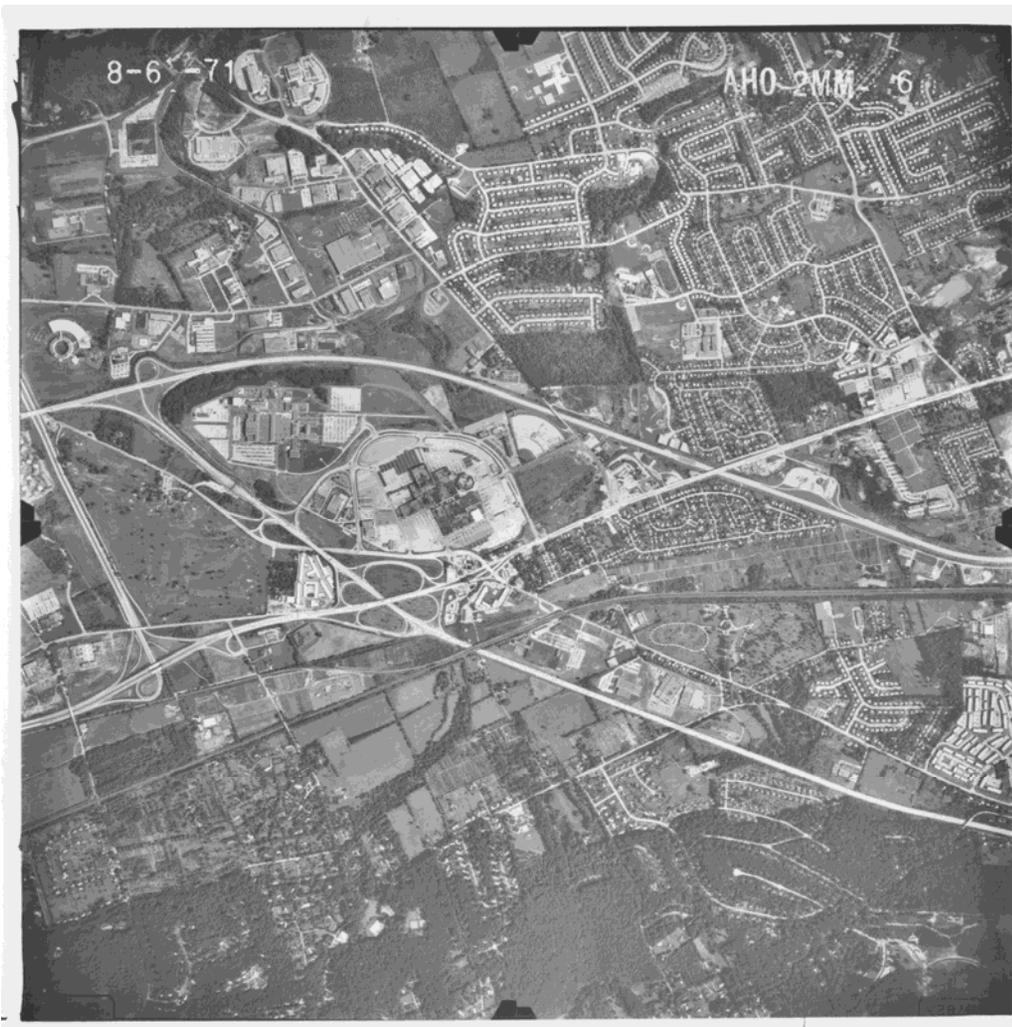
- 1960 population of 17,096
- 167% growth from 1950

Where Have We Come From



- 1960 population of 17,096
- 167% growth from 1950
- 10-15% of undeveloped land was built upon

Where Have We Come From



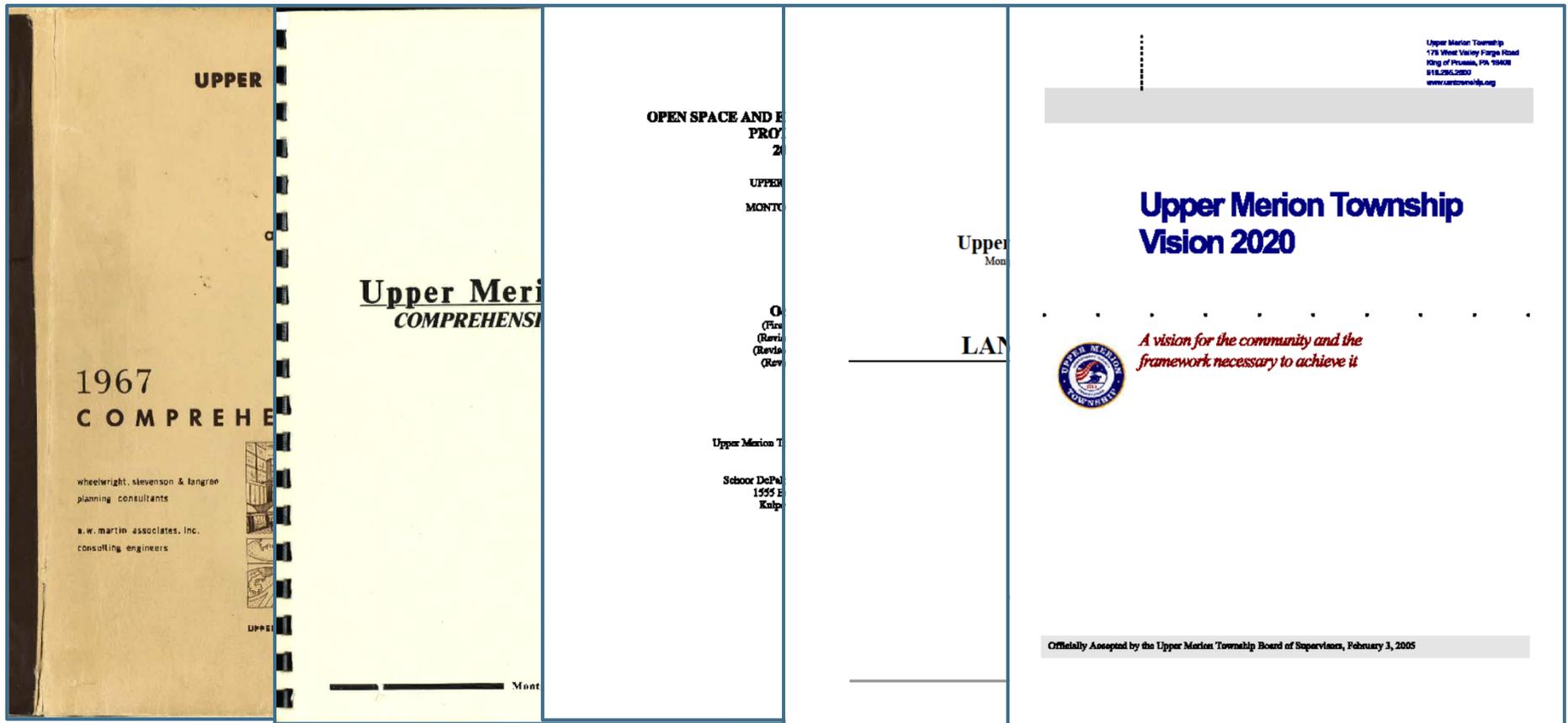
- 1970 population of 23,743
- Another 20% of the vacant land was developed
- 39% population growth from 1960
- Influx of commercial and industrial development
- 1967 Comprehensive Plan focused upon Commerce, Industry, Government, and Households

Where Have We Come From

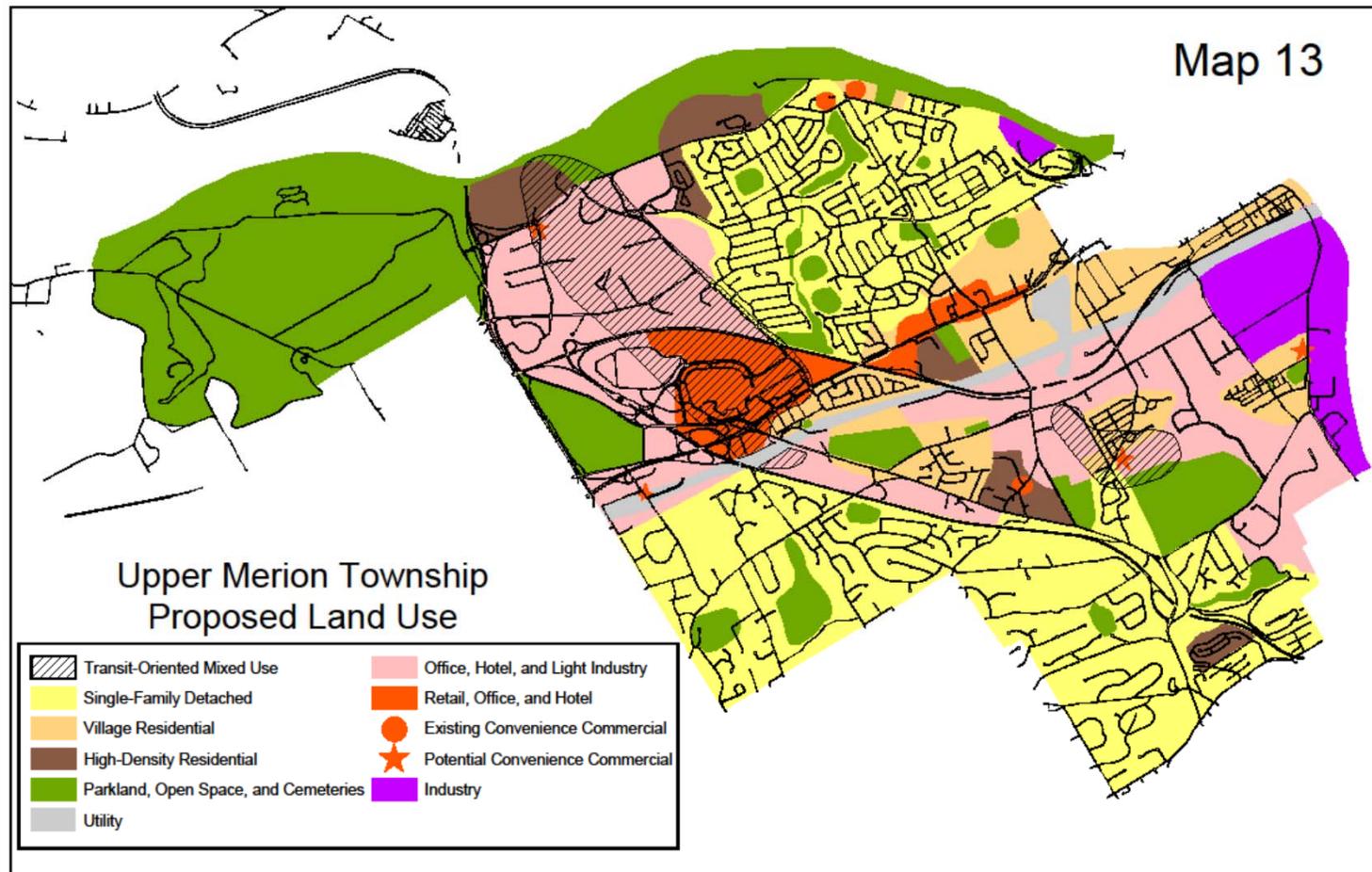


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Where Have We Come From



Where Have We Come From



Where Are We Now



Where Are We Now

□ Current Demographics (2010 Census)

- Population of 28,395
- 12,800 housing units
 - 54% built prior to 1970
 - 6.0% vacancy rate (rental 9.6%)
 - 67.2% owner-occupied

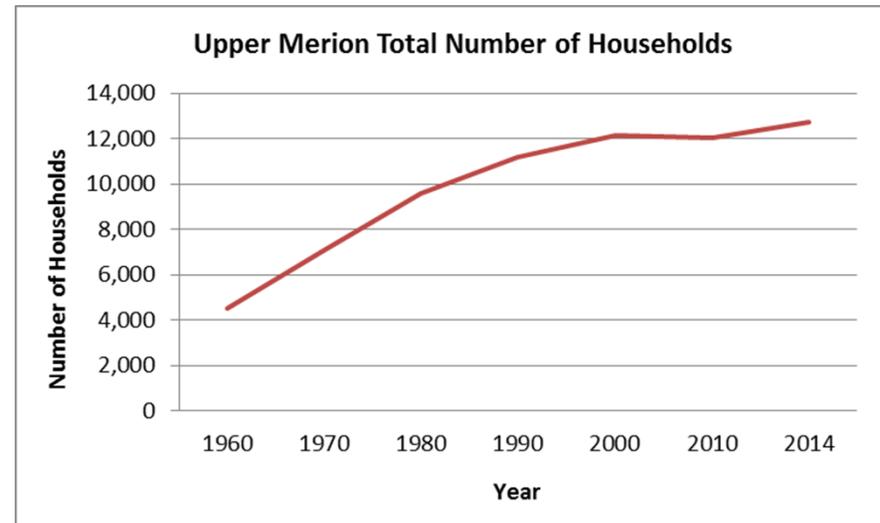
Upper Merion Population Change 1970-2010			
Year	Population	Percent Change	Absolute Change
1970	23,743		
1980	26,138	10.1%	2,395
1990	25,722	-1.6%	-416
2000	26,863	4.4%	1,141
2010	28,395	5.7%	1,532
Source: US Census Decadal			

Where Are We Now

□ Current Demographics

(2010 Census)

- 12,027 households
 - 7,450 family
 - 21% are Husband/Wife with children under 18
 - 4,577 non-family
 - 78% living alone (30% overall)
- 2.36 persons per household



Where Are We Now

Current Demographics (2010 Census)

- Increasing diversity
 - Asian up 84.2%
 - Black or African American up 24.6%
 - Hispanic or Latino up 628 to 1,109 persons

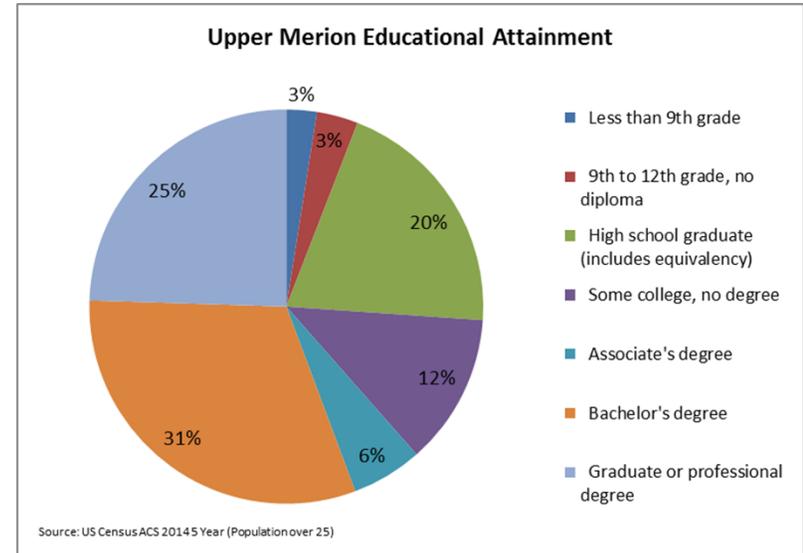
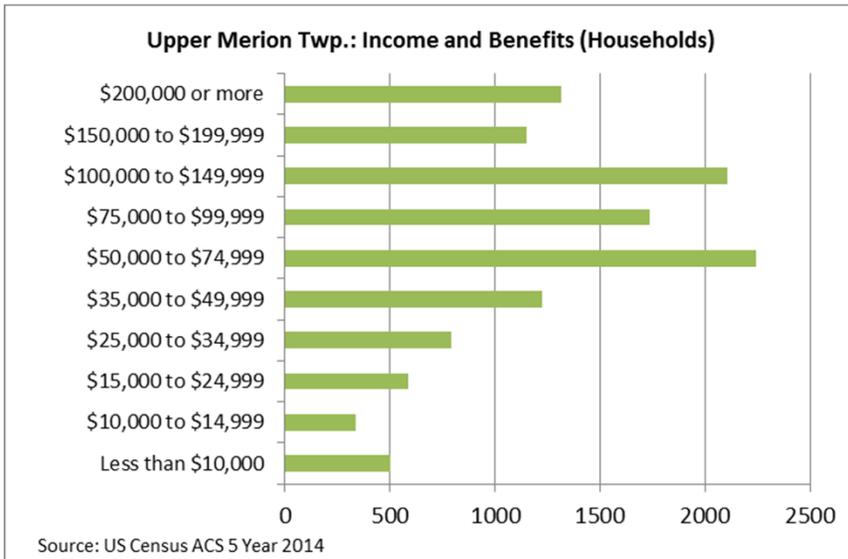
Upper Merion Race	2000		2010		Percent Change
	Total	Percent	Total	Percent	
Total population	26,509	100%	28,395	100%	
White	22,767	84.8%	21,594	76.0%	-5.2%
Black or African American	1,245	4.6%	1,551	5.5%	24.6%
American Indian and Alaska Native	34	0.1%	63	0.2%	85.3%
Asian	2,271	8.5%	4,184	14.7%	84.2%
Some Other Race	178	0.7%	397	1.4%	123%
Two or More Races	354	1.3%	599	2.1%	69.2%

Source: US Census Decadal

Where Are We Now

Current Demographics (2014 5-yr ACS)

Median household income of \$80,068



Where Are We Now

□ Current Demographics (2014 5-yr ACS)

- Median housing value of \$312,700
- Median gross rent of \$1,197

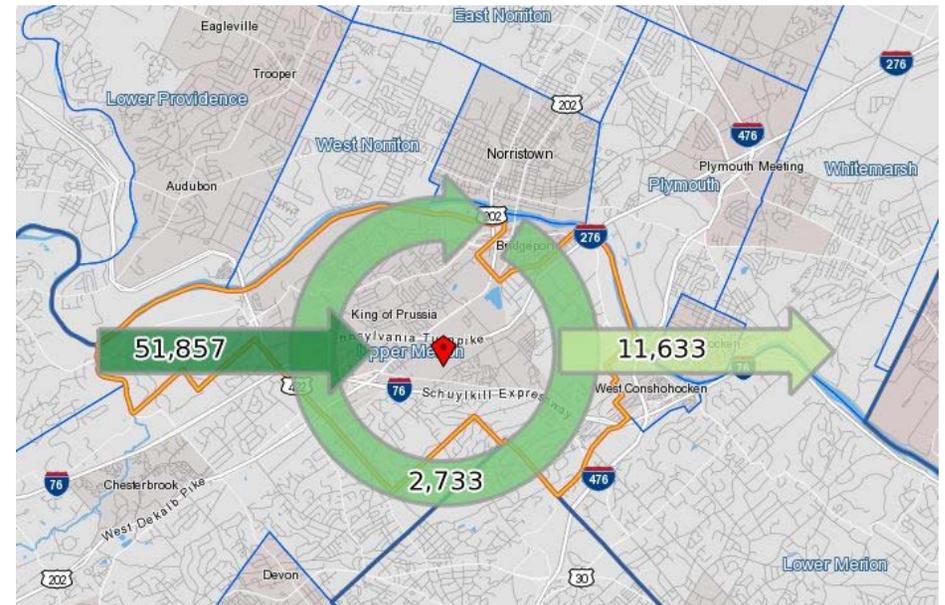
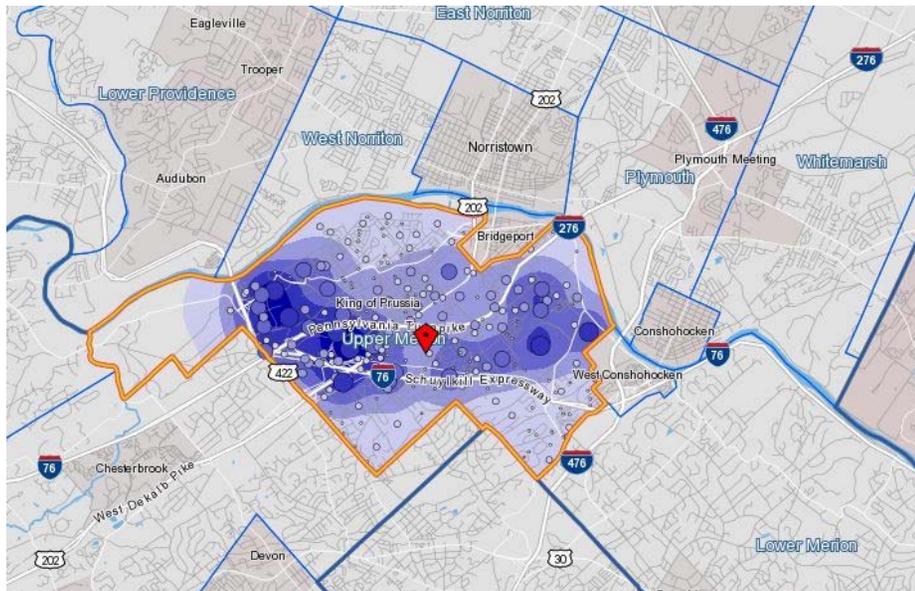
Upper Merion Housing Value (2014)	Total	Percent
Owner-occupied units	7,934	100%
Less than \$50,000	195	2.5%
\$50,000 to \$99,999	107	1.3%
\$100,000 to \$149,999	225	2.8%
\$150,000 to \$199,999	617	7.8%
\$200,000 to \$299,999	2,530	31.9%
\$300,000 to \$499,999	3,324	41.9%
\$500,000 to \$999,999	688	8.7%
\$1,000,000 or more	248	3.1%
Median Household Value	\$312,700	-

Source: US Census 2014 5 Year

Where Are We Now

□ Current Demographics (2014 5-yr ACS)

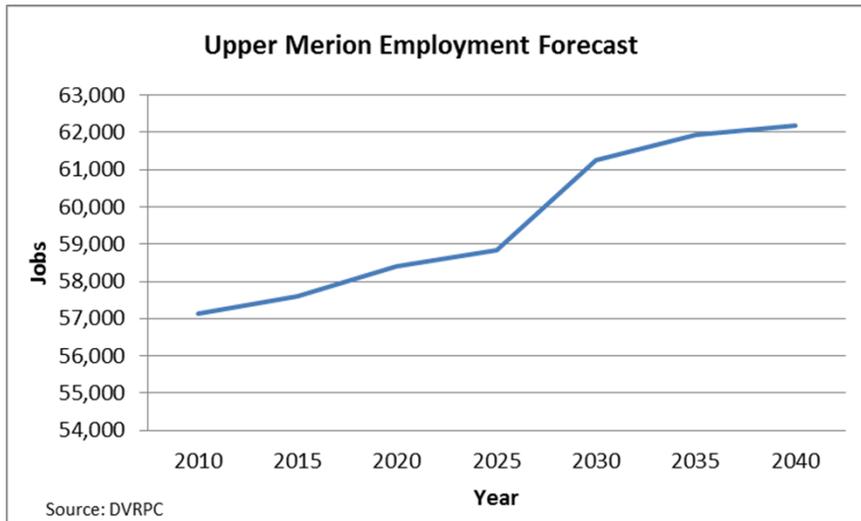
□ Employment center



Where Are We Now

Current Demographics

Employment center



Business Name	Employees	% of Total Twp. Employment
1. GlaxoSmithKline	2,545	4.3%
2. Lockheed Martin	2,400	4.1%
3. EBAY	1,099	1.9%
4. Valley Forge Colonial LTD	1,029	1.7%
5. Phila. Media Newspapers Inc.	952	1.6%
6. US Liability Insurance Co.	881	1.5%
7. HIBU of PA	707	1.2%
8. BNY Mellon Investment Servicing	663	1.1%
9. Arkema	629	1.1%
10. Nordstrom	617	1.1%

Source: Township of Upper Merion CAFR (2015)



Where Are We Now

□ Population and Housing Units

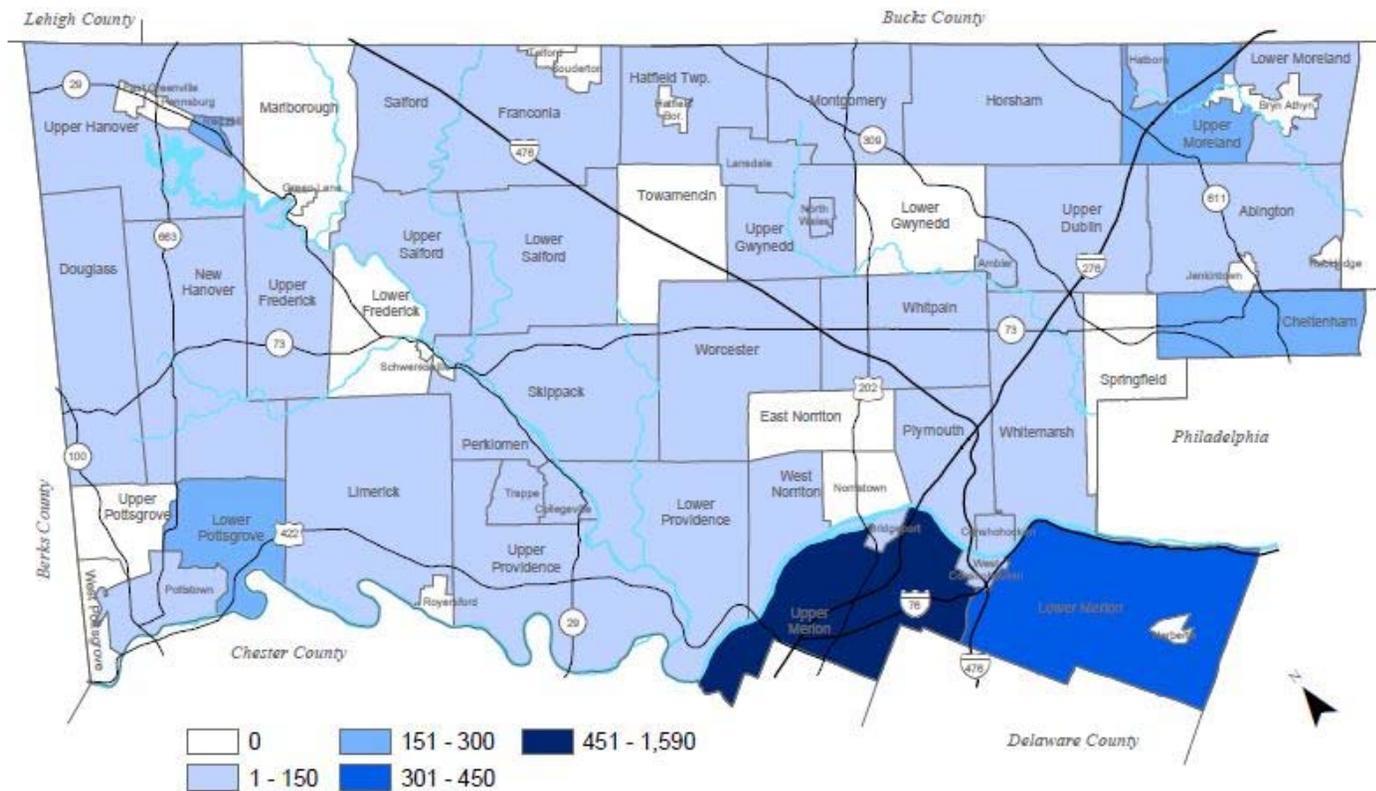
- Housing units increased from 12,151 in 2000 to 12,826 in 2015
- 675 units represent a 5.6% increase
- *Only 26 units built 2010 to 2015*
- Population increased from 26,863 in 2000 to 28,620 in 2015
- 1,757 persons represents a 6.5% increase

□ Non-residential

- Added 1,100,155 sq. ft. from 2004 - 2014

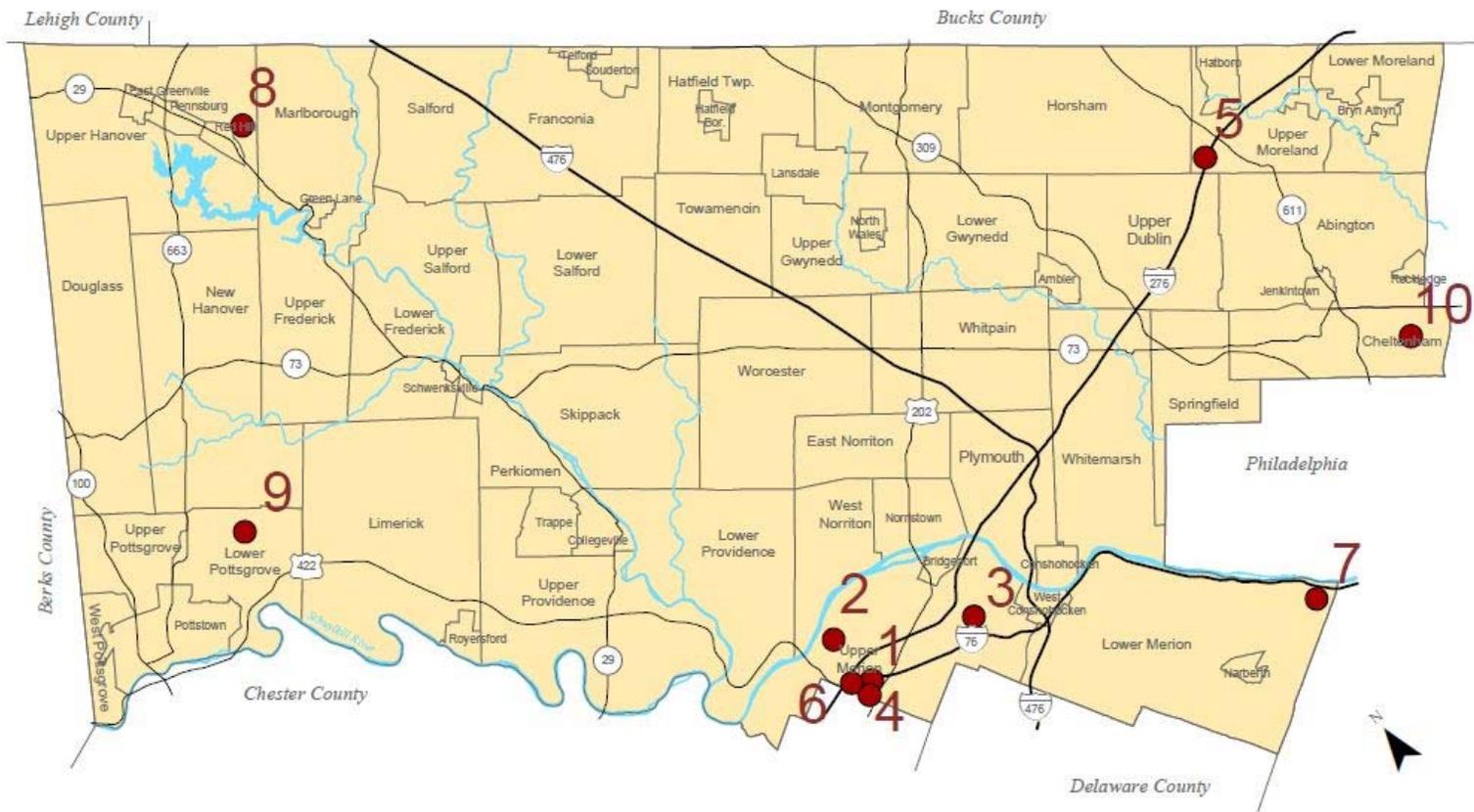
Recent Development Proposals

Proposed Housing Units by Municipality, 2015



Recent Development Proposals

Location of Top Ten Largest Residential Proposals, 2015



Recent Development Proposals

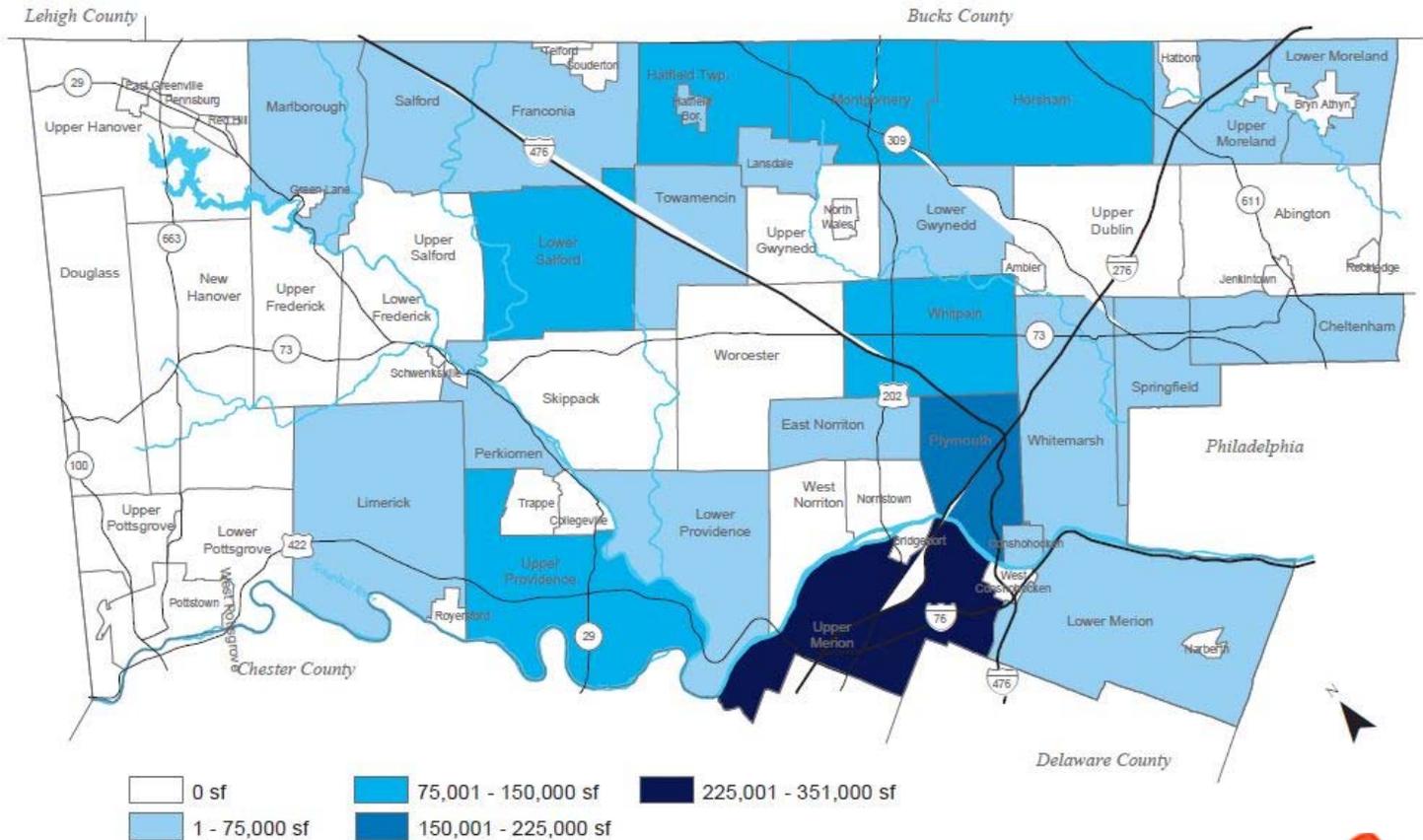
Montgomery County Largest Residential Proposals, 2015

	Development Name	Units	Type	Municipality
1.	401 N. Gulph Road	471	MF	Upper Merion
2.	751 Vandenburg Road	311	MF	Upper Merion
3.	2901 Renaissance Boulevard	300	MF	Upper Merion
4.	Gulph Road & Goddard Boulevard	276	MF	Upper Merion
5.	2405 Maryland Road	246	MF	Upper Moreland
6.	Bozzuto Village at Valley Forge	232	MF	Upper Merion
7.	150 Monument Road	206	MF	Lower Merion
8.	Kershner Tract	200	SFA	Red Hill
9.	Spring Valley Farms	178	SFD	Lower Pottsgrove
10.	Ashbourne Meadows	166	SFA / SFD	Cheltenham

1,590
New Units

Recent Development Proposals

Proposed Nonresidential Square Footage by Municipality, 2014



Recent Development Proposals

Montgomery County Largest Nonresidential Proposals, 2014

	Development Name	Square Feet	Type	Municipality
1.	Fed Ex Ground Distribution Center	315,897	Industrial	Upper Merion
2.	Chemical Road Self Storage	105,376	Commercial	Plymouth
3.	Hallowell Elementary School	94,300	Institutional	Horsham
4.	BJ's at Five Points Plaza	89,680	Commercial	Montgomery
5.	Health Sciences Center - MCCC	83,570	Institutional	Whitpain
6.	Residence Inn	76,976	Commercial	Upper Providence
7.	Sequoia Supply	60,000	Industrial	Hatfield Township
8.	Mainland Pointe (Mixed Use)	58,965	Commercial, Office	Lower Salford
9.	Fairfield Inn	54,400	Commercial	Upper Moreland
10.	Upper Merion Township Community Center	54,099	Municipal	Upper Merion

Where Are We Going

□ Population and Housing Units

- 2040 population forecast of 34,003 (5,608 new residents)
- Adding nearly 2,053 new units

□ Employment

- Adding 5,051 jobs by 2040

Where Are We Going

- ❑ **Consideration of growth scenarios**
 - ❑ Timing of growth
 - ❑ Capital improvement priorities
 - ❑ Zoning considerations
 - ❑ Fiscal impacts
- ❑ **Evaluate from a sub-area planning perspective**
 - ❑ Township is a sum of its unique parts
 - ❑ Varying issues and opportunities
- ❑ **The Comprehensive Plan will establish the vision and what needs to be done to achieve it**

Where Are We Going

- ❑ **Group Brainstorming Exercise**
 - ❑ What aspects of the community do we want to...
 - ❑ PRESERVE
 - ❑ ENHANCE
 - ❑ TRANSFORM