

LOCATION MAP
SCALE: 1" = 1000'



GRAPHIC SCALE

**FINAL
SITE AND SURROUNDING
PROPERTY PLAN**

4	9-21-16	REVISED PER MCOCD COMMENTS IN 9-10-16 REVIEW LETTER
3	5-19-16	REVISED PER TWP CONSULTANT REVIEW LETTERS DATED 3-31-16 & 4-25-16
2	11-16-15	REV. MODIFIED LAYOUT
1	5-14-15	REVISED PER TWP ENGR REVIEW LETTER DATED 10-3-14

LAND DEVELOPMENT PLAN
FOR

MANCILL MILL ROAD COMPANY
MONTGOMERY COUNTY, PA

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
1251 Downing Forge Road 93441
Phone (610) 903-0080
Fax (610) 903-0080

Project:	3755
Date:	7-9-14
Scale:	1" = 200'
Drawn:	R.F.N.
Checked:	A.J.B.
Sheet:	2 OF 14

EXISTING FEMA 100 YEAR FLOODPLAIN BOUNDARY

SCHUYLKILL RIVER

58-33-2 PHILADELPHIA & READING RAILROAD COMPANY

N66°56'37"E 2273.15'

1319.66'

40' BUFFER

953.49'

20'

54'

40 FT BUFFER

CONCRETE MONUMENT FOUND

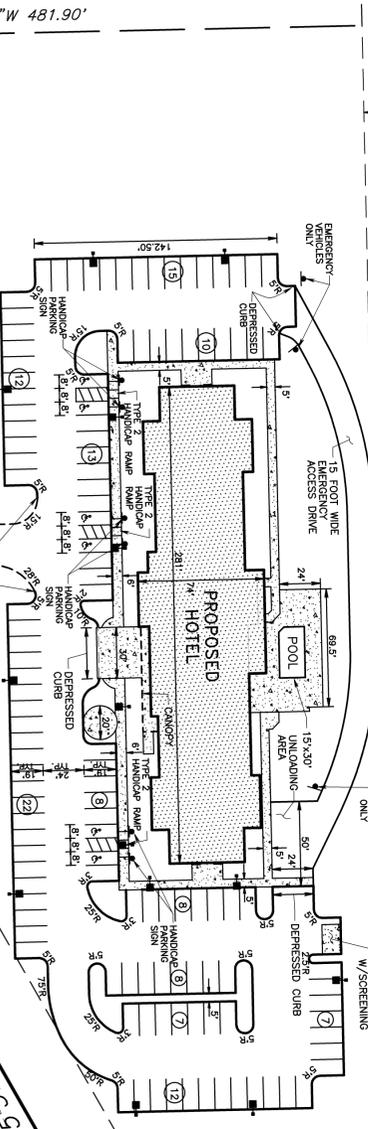
CUT IN RAIL MONUMENT FOUND

ROUTE 23

ROUTE 23

ROUTE 23

ROUTE 23



PARCEL 58-0013345-90-7

N23°03'23"W 481.90'

ZONING SM SUBURBAN METROPOLITAN

ZONING SM-1 SUBURBAN METROPOLITAN

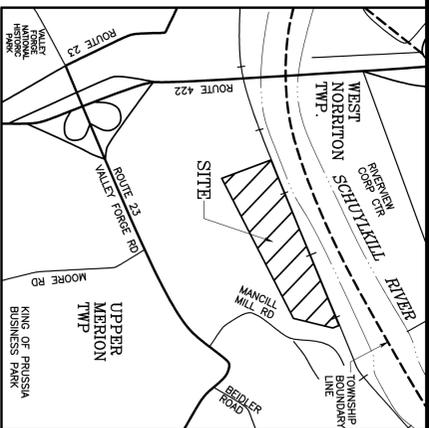
58-32-1 VALLEY FORGE TOWERS COMMUNITY ASSOCIATION DB 4397 PG 7

ZONING DISTRICT: HR - HIGH RISE RESIDENTIAL

58-35-10 UPPER MERION TOWNSHIP MUNICIPAL UTILITY AUTHORITY DB 4037 PG 7 PLOTTED FROM TAX MAP - 5.01 AC.

ZONING DISTRICT: SM-1 - SUBURBAN METROPOLITAN

58-35-24 UPPER MERION TOWNSHIP DB 3317 PG 23A (DESCRIPTION DOES NOT MATCH PARCEL)



LOCATION MAP SCALE: 1"=1000'

ZONING REQUIREMENTS

SM-1 DISTRICT AREA, WIDTH AND YARD REGULATIONS:	REQUIRED	PROVIDED
MINIMUM LOT AREA	1 ACRE	7.229 ACRES (54 PARCELS)
FRONT YARD	40'	150'
REAR YARD	15' MIN/40' ACSR	40'
SIDE YARD	20'	20'
REAR YARD	50X	5.23X
BUILDING AREA	150'	150'
LOTS NEAR RESIDENTIAL DISTRICTS		150' (BUILDING FOOTPRINT TOTAL BUILDING SF.) AREA = 65,920 S.F. (4 STORIES)

MINIMUM REQUIREMENTS

NONRESIDENTIAL USES	REQUIRED	PROVIDED
GREEN AREA <td>15%</td> <td>72.51%</td>	15%	72.51%
GREEN AREA MIN. REQUIREMENTS	15%	72.51%

PARKING REQUIREMENTS

MINIMUM REQUIREMENTS	PROVIDED
HOTEL OR MOTEL ONE SPACE PER ROOM PLUS ONE SPACE FOR EACH TWO EMPLOYEES ON DUTY	122 SPACES
HOTEL PARKING REQUIRED	122 SPACES
112 + 10 = 122 SPACES REQUIRED	
112 + 10 = 122 SPACES REQUIRED	
PARKING SHOWN	122 SPACES

PARKING REQUIREMENTS: HOTEL USE

MINIMUM REQUIREMENTS	PROVIDED
112 + 10 = 122 SPACES REQUIRED	
112 + 10 = 122 SPACES REQUIRED	
PARKING SHOWN	122 SPACES

GENERAL NOTES:

- BOUNDARY SURVEY BY EDWARD B. WALSH AND ASSOCIATES, INC. (EWA) IN ACCORDANCE WITH DESCRIPTION CONTAINED IN DEED BOOK 5717, PAGE 10, DATED 2008 BY EARTH DESIGN GROUP. EWA SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE REPORT.
- TOTAL TRACT AREA 22.826 AC.
- TOPOGRAHY WAS PHOTOGRAMMETRICALLY COMPLETED DECEMBER, 2011 BY EWA. THE PROPOSED DEVELOPMENT/USERS WILL UTILIZE THE PUBLIC WATER AND SANITARY SEWER SYSTEM.
- PROJECT BENCH MARK IS DESIGNED AS NGS NO. NY 1854 . (0.9 M. EAST ALONG READING CO. RAILROAD FROM PORT KENNEDY STATION, BENCH MARK 24.7 FT. SOUTH OF THE SOUTH RAIL OF THE SOUTH SET OF MAIN LINE TRACKS). ELEVATION: 83.57 DATUM: NAVD 88. THE LOCAL BENCHMARK IS THE BENCH MARK AT THE INTERSECTION OF THE SOUTH SET OF MAIN LINE TRACKS. ELEVATION OF 128.10 REFLECTS THE NAVD 88 DATUM.
- THE PROPOSED DEVELOPMENT/USERS WILL UTILIZE THE PUBLIC WATER AND SANITARY SEWER SYSTEM.
- THERE ARE NO WETLANDS OR 100 YEAR FLOODPLAIN LOCATED ON THE TRACT.
- THE TRACT IS DEVELOPED IN ACCORDANCE WITH THE CLEANUP PLAN AS APPROVED BY D.E.P., FEBRUARY, 2012.
- IMPROVEMENTS TO THE INTERSECTION OF MANCILL MILL ROAD AND WEST VALLEY FORGE ROAD SHALL BE PROVIDED BY THE APPLICANT. TRAFFIC SIGNALS SHALL BE PROVIDED BY TRAFFIC PLANNING AND DESIGN WILL BE COMPLETED BY THE APPLICANT. A HIGHWAY OCCUPANCY PERMIT AND SIGNAL PERMIT WILL BE REQUIRED. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE STORMWATER MANAGEMENT FACILITIES PROPOSED FOR THIS PROJECT WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. A DEED OF CONVEYANCE SHALL BE RECORDED TO PROMPT THE REMOVAL OR ALTERATION OF THE FACILITIES.
- A BLANKET EASEMENT ON THE PROPERTY SHALL BE GRANTED TO THE TOWNSHIP TO PROVIDE THE RIGHT BUT NOT OBLIGATION TO ENTER AND IMPROVE THE TRACT. IT IS REQUESTED THAT FEE IN LIEU OF OPEN SPACE BE PROVIDED AS STIPULATED IN THE TOWNSHIP CODE SECTION 165-217.2(A)(1).
- ALL LIGHTING FIXTURES MUST MEET IESNA FULL CONFORM REQUIREMENTS.
- INCLUDING THE COLLECTION PUMP SYSTEM REQUIRES WRITTEN APPROVAL FROM THE UPPER MERION TOWNSHIP SUPERVISORS.
- FILED CONSTRUCTION AND MATERIALS SHALL BE IN CONFORMANCE WITH PENNODT 15B. CONSTRUCTION AND COMMUNICATION SERVICES SHALL BE PROVIDED BY TOWNSHIP PERMIT TELEPHONE AND COMMUNICATION SERVICES SHALL BE PROVIDED BY UNDERGROUND CABLE.
- IRON PINS SHALL BE SET AT LOCATIONS DENOTED BY THE SYMBOL.
- ALL CURB RAILS ARE TO BE A MINIMUM OF 5 FOOT.
- THE EXISTING ABANDONED BUILDINGS ON THE WESTERN PORTION OF THE PORTION OF THE TRACT BEING TOWNE SITE DEVELOPMENT OF THE WESTERN PORTION OF THE TRACT SHALL BE DEMOLISHED IN ACCORDANCE WITH THE TOWNSHIP REQUIREMENTS.
- ALL HANDICAPPED RAMPS MUST COMPLY WITH ADA DESIGN REQUIREMENTS.

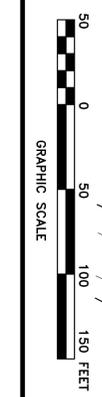
FINAL SITE PLAN

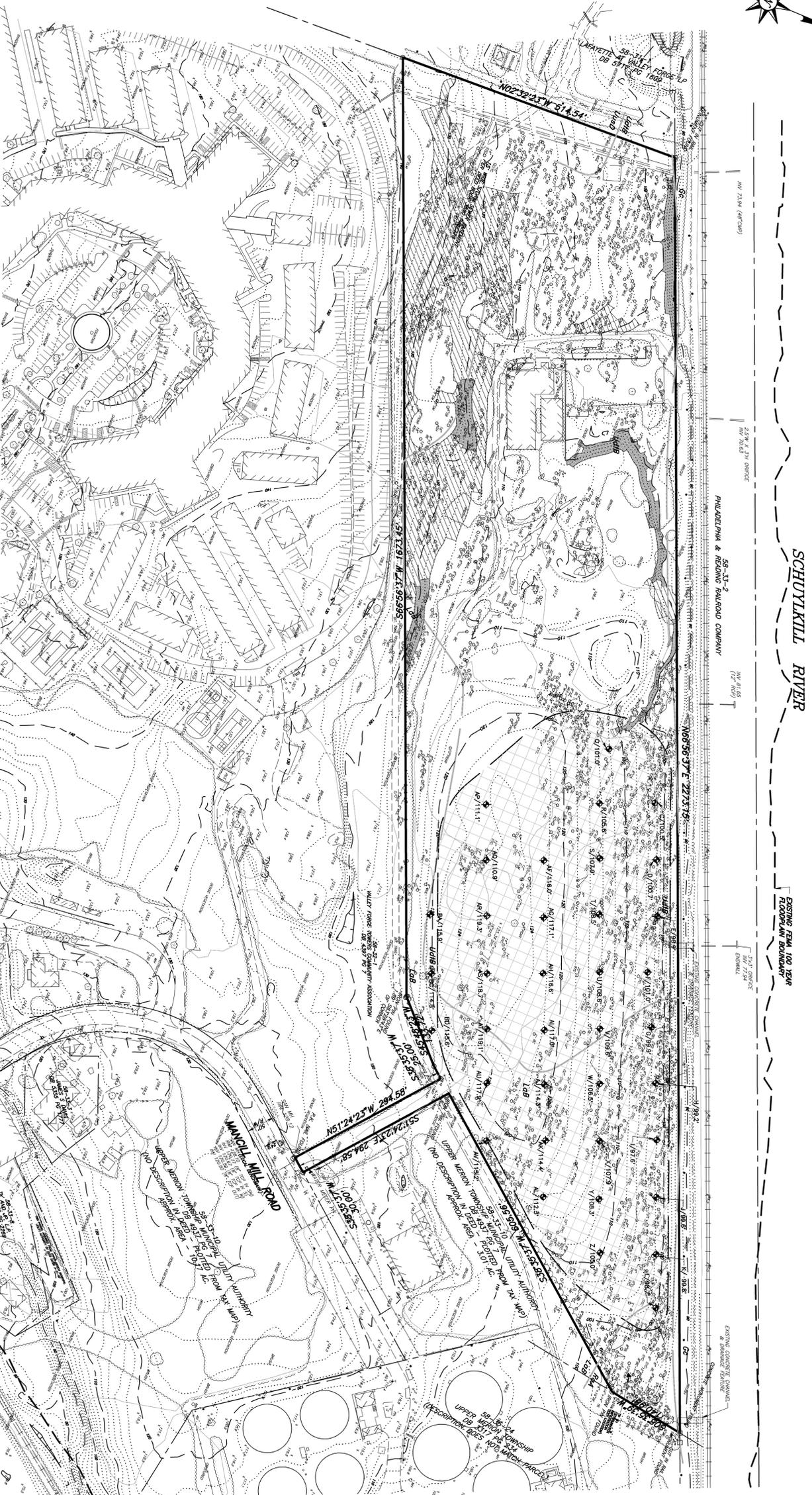
MANCILL MILL ROAD COMPANY
FOR
LAND DEVELOPMENT PLAN

UPPER MERION TOWNSHIP
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
125 Doulin Forge Road
Eston, Pennsylvania 19341
Phone (610) 905-0060
Fax (610) 905-0060



PARCELS NO.58-0013346-00-6 & 58-00-13345-90-7 (PER DEED)





SCHUYLKILL RIVER

EXISTING FEMA 100 YEAR FLOODPLAIN BOUNDARY

PHILADELPHIA & READING RAILROAD COMPANY

EXISTING CONCRETE CONDUIT



TREE SPECIES LEGEND

BOX ELDER = BE
 BLACK LOCUST = BL
 SILVER MAPLE = SM
 MULBERRY = ML
 SLMAC = SU
 BLACK WALNUT = BW
 WILLOW = W
 ELM = ELM
 PEAR = PEAR
 CRAB APPLE = CA
 ASH = ASH
 TULIP POPLAR = POP
 STACAMORE = SVC

NOTE: THE TREES SHOWN IN THE AREA TO BE DEVELOPED IN CONJUNCTION WITH THE SITE CONTAMINATED SOILS REMEDIATION PROJECT.

PARCELS NO. 58-0013346-00-6 & 58-00-13345-90-7 (PER DEED)

SITE BORING TEST RESULTS FOR SITE CONTAMINATION

BORING LABEL	ELEVATION OF TOP SOIL COVERED	COVER OVER CONTAMINATED SOIL
G	102.9'	1.0'
H	102.9'	1.0'
E	98.9'	1.3'
F	101.0'	0.9'
I	98.9'	1.1'
J	97.6'	2.3'
K	98.6'	1.2'
L	101.0'	0.2'
M	102.6'	4.9'
N	102.6'	4.2'
O	102.6'	3.1'
P	102.6'	2.4'
Q	102.6'	1.4'
R	102.6'	2.0'
S	102.6'	2.0'
T	102.6'	2.1'
U	108.6'	2.4'
V	108.6'	2.6'
W	108.3'	2.6'
X	108.3'	2.5'
Y	105.0'	0.5'
Z	116.0'	0.5'
AA	116.0'	1.4'
AB	117.0'	0.7'
AC	114.3'	3.2'
AD	112.3'	6.6'
AE	111.1'	1.2'
AF	110.9'	8.3'
AG	110.9'	8.3'
AH	118.7'	2.1'
AI	118.1'	1.2'
AJ	117.9'	0.5'
AK	115.9'	0.2'
AL	115.9'	1.5'
AM	115.9'	0.2'
AN	115.9'	1.5'

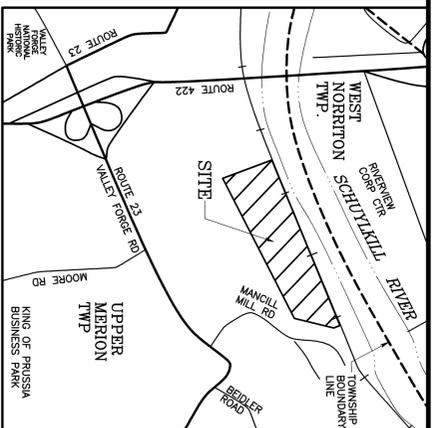
SENSITIVE NATURAL RESOURCES TO BE PROTECTED

THE EXISTING SITE TO BE DEVELOPED DOES NOT CONTAIN SENSITIVE FEATURES.



GENERAL NOTES:

1. BOUNDARY SURVEY BY EDWARD B. WALSH AND ASSOCIATES, INC. (EBA) FOR THE PROPERTY SHOWN ON THIS PLAN WAS PERFORMED IN PHASE ONE IN DECEMBER 2008 BY EARTH DESIGN GROUP. EBM SURVEY WAS PERFORMED IN PHASE TWO IN DECEMBER 2008.
2. TOTAL TRACT AREA: 22,826 AC.
3. TOPOGRAPHY WAS PHOTOGRAMMETRICALLY COMPILED DECEMBER 2011 BY PRODAVIS, INC. (NORRITON, NJ) FROM NEW AERIAL SURVEYS CONTROLLED BY THE U.S. ARMY CORPS OF ENGINEERS. THE ELEVATION DATUM IS NAVD 83.
4. AND SUPERIMPOSED WITH GROUND SURVEYS BY EBM, 1854, (0.9 MI. EAST ALONG READING CO. RAILROAD FROM PORT KENNEDY STATION, BENCH MARK DISC SET IN TOP OF NW CORNER OF CONCRETE BASE OF SIGNAL CANTY, 24 FT. SOUTH OF ELEVATION: 83.57 DATUM: NAVD 83).
5. THE PROPOSED DEVELOPMENT/USES WILL UTILIZE THE PUBLIC WATER AND SANITARY SEWER SYSTEM.
6. THERE ARE NO WETLANDS OR 100 YEAR FLOODPLAIN LOCATED ON THE TRACT.
7. THE PORTION OF THE SITE THAT HAS CONTAMINATED SOILS WILL BE BY D.E.P., FEBRUARY, 2012, WITH THE CLEANUP PLAN AS APPROVED.
8. IMPROVEMENTS TO THE INTERSECTION OF MANCILL MILL ROAD AND WEST MANCILL MILL ROAD SHALL BE COMPLETED BY THE DEVELOPER. THE DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH PENNDOT HIGHWAY OCCUPANCY PERMIT AND SIGNAL PERMIT WILL BE REQUIRED. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE UPPER MERION TOWNSHIP SUPERVISORS.
9. ALL CONSTRUCTION AND MATERIALS SHALL BE IN CONFORMANCE WITH PENNDOT TOWNSHIP PERMIT.
10. A BARRIER EXISTING ON THE PROPERTY SHALL BE GRANTED TO THE TOWNSHIP TO PROVIDE THE RIGHT OF WAY BUT NOT OBLIGATION TO ENTER AND IMPROVE STORMWATER MANAGEMENT FACILITIES OF OPEN SPACE BE PROVIDED AS STIPULATED IN THE TOWNSHIP CODE SECTION 165-217.24(A).
11. ALL LIGHTING FIXTURES MUST MEET IESNA FULL CUTOFF REQUIREMENTS.
12. THE ALTERATION OR REMOVAL OF THE STORM WATER MANAGEMENT FACILITIES FROM THE UPPER MERION TOWNSHIP SUPERVISORS.
13. ALL CONSTRUCTION AND MATERIALS SHALL BE IN CONFORMANCE WITH PENNDOT TOWNSHIP PERMIT.
14. ALL ELECTRICAL, TELEPHONE AND COMMUNICATION SERVICES SHALL BE PROVIDED BY THE TOWNSHIP SUPERVISORS.
15. ALL CURB RAILS ARE TO BE A MINIMUM OF 5 FOOT.
16. THE EXISTING DEMONSTRATED BUILDINGS ON THE WESTERN PORTION OF THE PORTION OF THE TRACT.



LEGEND

---	EXISTING INDEX CONTOUR
---	EXISTING INTERIOR CONTOUR
---	EXISTING INLET
---	EXISTING STORM SEWER PIPE
---	EXISTING STORM MANHOLE
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY SEWER PIPE
---	EXISTING WATER LINE
---	EXISTING CURB
---	EXISTING SIGN
---	WATER METER
---	WATER VALVE
---	EXISTING ENDMALL
---	FEMA FLOODPLAIN BOUNDARY
---	EXISTING PAVING
---	EXISTING BUILDINGS
---	STEEP SLOPES 15%-25%
---	SIGNIFICANT SLOPES >25%
---	CONTAMINATED SOILS BOUNDARY
---	EXISTING EDGE OF WOODLANDS/TREES
---	CONTAMINATED SOILS
---	TEST BORING LOCATION/ DESIGNATION WITH ELEVATION OF TOP OF CONTAMINATED SOIL

SOILS CLASSIFICATION

Oc - GRABLER Silt Loam
 Lab - LANSFORD Loam, 3 to 8 PERCENT SLOPES
 Udb - UNDERPENS, SHALE AND SANDSTONE, 0 TO 8 PERCENT SLOPES

FINAL OVERALL EXISTING FEATURES PLAN

1	5-14-15	REVISED PER TWP ENGR REVIEW LETTER DATED 10-3-14
2	11-10-15	REV. MODIFIED LAYOUT
3	5-19-16	REVISED PER TWP CONSULTANT REVIEW LETTERS DATED 3-31-16 & 4-25-16
4	9-21-16	REVISED PER MCD COMMENTS IN 9-10-16 REVIEW LETTER

LAND DEVELOPMENT PLAN FOR MANCILL MILL ROAD COMPANY

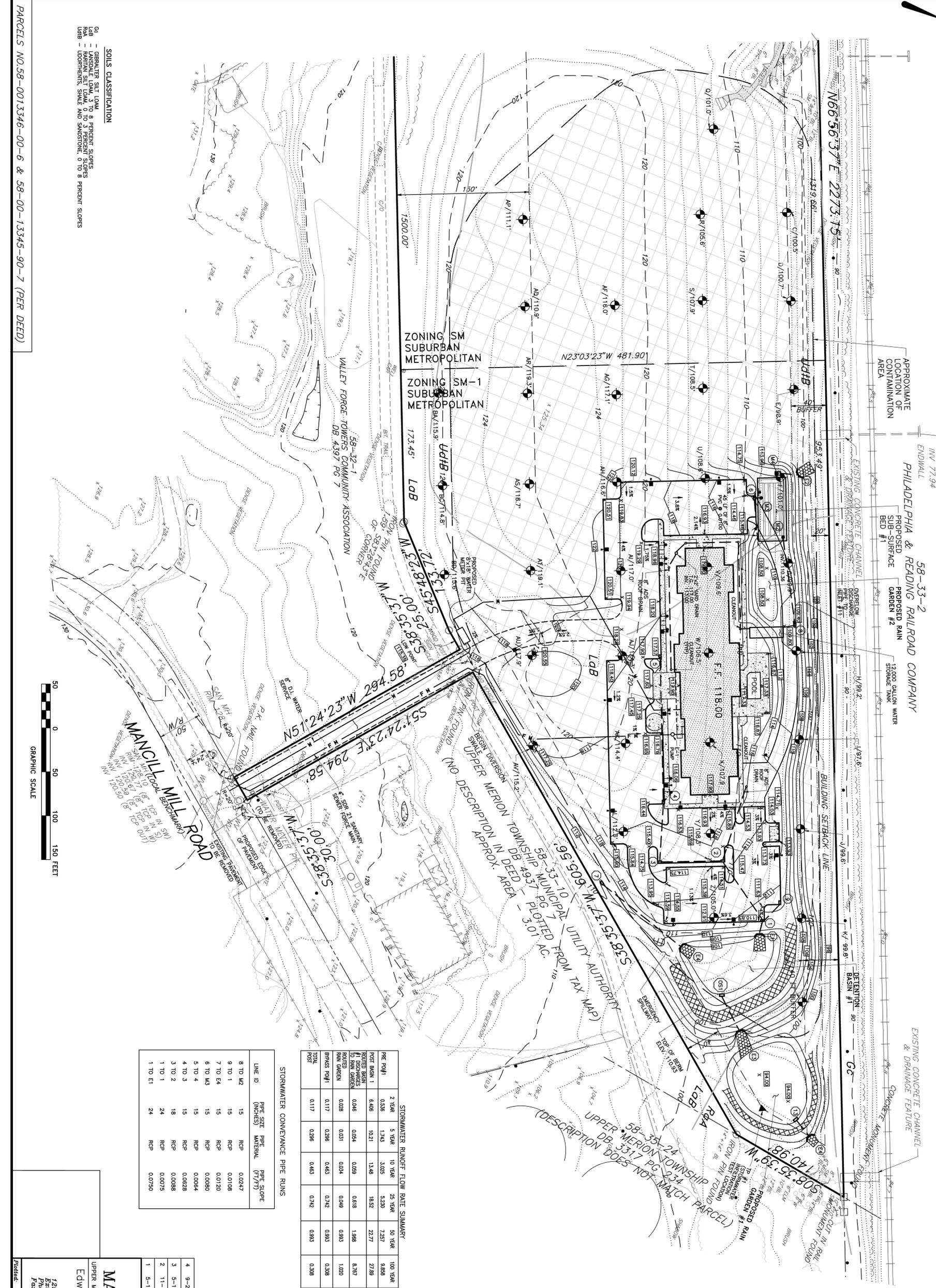
UPPER MERION TOWNSHIP
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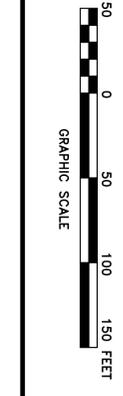
EXISTING FEMA 100 YEAR FLOODPLAIN BOUNDARY

SCHUYLKILL RIVER



SOILS CLASSIFICATION

Ge - GRASSY SILT LOAM, 8 PERCENT SLOPES
 Gc - GRASSY SILT LOAM, 10 TO 3 PERCENT SLOPES
 Ldb - LOESSY SAND, 0 TO 8 PERCENT SLOPES
 LdbB - LOESSY SAND AND SANDSTONE, 0 TO 8 PERCENT SLOPES



STORMWATER CONFORMANCE PIPE RUNS

LINE ID	PIPE SIZE (INCHES)	PIPE MATERIAL	PIPE SLOPE (F1/F17)
8 TO M2	15	RCP	0.0247
9 TO 1	15	RCP	0.0108
7 TO E4	15	RCP	0.0120
6 TO M3	15	RCP	0.0080
5 TO 4	15	RCP	0.0064
4 TO 3	15	RCP	0.0028
3 TO 2	18	RCP	0.0088
1 TO 1	24	RCP	0.0075
1 TO E1	24	RCP	0.0750

STORMWATER RUNOFF FLOW RATE SUMMARY

PRE Pkg#1	2 YEAR	5 YEAR	10 YEAR	25 YEAR	50 YEAR	100 YEAR
POST BASIN 1	6.46	10.21	13.48	18.52	22.77	27.89
PROPOSED BRASS BRASS TO RAIN GARDEN	0.046	0.054	0.059	0.818	1.988	8.767
ROUTED BRASS Pkg#1	0.028	0.031	0.034	0.046	0.093	1.020
BRASS Pkg#1	0.117	0.288	0.443	0.742	0.993	0.308
TOTAL POST	0.117	0.288	0.443	0.742	0.993	0.308

FINAL GRADING & UTILITIES PLAN

LAND DEVELOPMENT PLAN FOR MANCILL MILL ROAD COMPANY

UPPER MERION TOWNSHIP

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 Sheet- 5 OF 14

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1 TO E1	24	RCP	0.0750

STORMWATER RUNOFF FLOW RATE SUMMARY

PRE Pkg#2	2 YEAR	5 YEAR	10 YEAR	25 YEAR	50 YEAR	100 YEAR
POST BASIN 1	2.85	4.42	5.70	7.817	9.191	11.07
ROUTED BRASS Pkg#2	0.507	0.447	0.750	3.357	6.251	8.588
BRASS Pkg#2	0.244	0.528	0.786	1.182	1.489	1.930
TOTAL POST	0.738	1.199	1.499	4.508	7.790	10.49

LEGEND

- 40 - EXISTING INDEX CONTOUR
- EXISTING INTERIOR CONTOUR
- PROPOSED CONTOUR
- EXISTING INLET
- PROPOSED INLET
- EXISTING STORMWATER STRUCTURE DESIGNATION
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- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- SOILS LINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING PAVING
- PROPOSED PAVING
- LIGHT POLE & FEATURE
- PROPOSED SPOT ELEVATION
- EXISTING SIGN
- PROPOSED SIGN
- WATER METER
- PROPOSED WATER METER
- WATER VALVE
- PROPOSED FIRE HYDRANT
- EXISTING ENDWALL
- PROPOSED D-W ENDWALL
- EXISTING ENDWALL
- FEMA FLOODPLAIN BOUNDARY
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- STEEP SLOPES 15%-25%
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- CONTAMINATED SOILS BOUNDARY
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- CONTAMINATED SOILS
- TEST BORING LOCATION DESIGNATION WITH ELEVATION OF TOP OF CONTAMINATED SOIL
- TOP OF STORMWATER MANAGEMENT SYSTEM BERM

FINAL GRADING & UTILITIES PLAN

LAND DEVELOPMENT PLAN FOR MANCILL MILL ROAD COMPANY

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- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- SOILS LINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING PAVING
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- EXISTING STORMWATER STRUCTURE DESIGNATION
- PROPOSED STORMWATER STRUCTURE DESIGNATION
- EXISTING STORM SEWER PIPE
- PROPOSED STORM SEWER PIPE
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- SOILS LINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING PAVING
- PROPOSED PAVING
- LIGHT POLE & FEATURE
- PROPOSED SPOT ELEVATION
- EXISTING SIGN
- PROPOSED SIGN
- WATER METER
- PROPOSED WATER METER
- WATER VALVE
- PROPOSED FIRE HYDRANT
- EXISTING ENDWALL
- PROPOSED D-W ENDWALL
- EXISTING ENDWALL
- FEMA FLOODPLAIN BOUNDARY
- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- STEEP SLOPES 15%-25%
- SIGNIFICANT SLOPES >25%
- CONTAMINATED SOILS BOUNDARY
- EXISTING EDGE OF WOODLANDS/TREES
- CONTAMINATED SOILS
- TEST BORING LOCATION DESIGNATION WITH ELEVATION OF TOP OF CONTAMINATED SOIL
- TOP OF STORMWATER MANAGEMENT SYSTEM BERM

UPPER MERION TOWNSHIP : LANDSCAPE COMPLIANCE CHART

Chapter 145. Subdivision of Land

§145-24.1.D. Parking Lot Landscaping:
One (1) tree for every ten parking stalls.

Each planting island shall contain one shade tree, plus shrubs, plus low growing groundcovers to cover the entire area.

122 Parking spaces / 10 = 12.2 Trees + Shrubs & Groundcovers

§145-24.1.E. Street Trees:
One (1) tree per 40 linear feet of frontage -30 L.F. of road frontage along Mancil Mill Road

§145-24.1.F. Stormwater Basins:
Two (2) trees and ten (10) shrubs per 100 linear feet of basin perimeter

Basin #1 - 450 L.F. = 9 Trees & 45 Shrubs

§145-24.1.G. Buffers and Screens.
(3)(a) A buffer of not less than 15 ft nor more than 50 ft in width shall be established along property lines, unless otherwise specified in the Zoning Ordinance, Ch. 165.

§165-140. Buffers
All areas delimited by the front lot line shall be provided with a buffer of at least 40 ft in width.
(3)(c) The buffer area shall consist of tall canopy trees, small understory trees, shrubs with grass or ground cover.
(3)(e)[1][a] For every 100 lf of property line to be buffered, the following shall be required:

Proposed Use: Commercial/Industrial (SM-1)
Adjacent Use: Commercial/Industrial (SM-1)
Type of Buffer Required: Softening

South and East Property Line(s): 1,109 Linear Feet
1,109 / 100 LF = 11.09 x 1 Canopy Tree = 11.09
1,109 / 100 LF = 11.09 x 2 Understory Trees = 22.18
1,109 / 100 LF = 11.09 x 2 Evergreen Trees = 22.18

Shrubs with grass or ground cover

§145-24.1.H. Building Plantings.
One (1) canopy tree or two (2) understory trees shall be planted for every 50 linear feet of the proposed building perimeter. Five (5) deciduous or evergreen shrubs shall be planted for every 20 linear feet of the proposed building perimeter.

Hotel - 650' linear feet of combined building perimeter

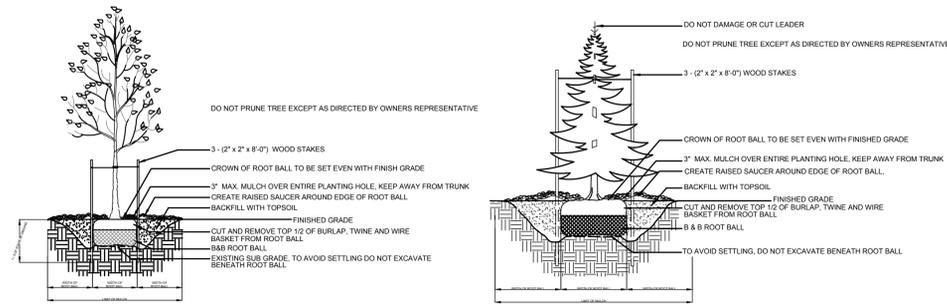
754' / 50' = 15.08 Canopy Trees
754' / 20' x 5 = 188.5 Shrubs

§145-24.1.K(4). Design Criteria for Tree Species Variety

Number of Trees: 107
Minimum Number of Tree Species: 6
Maximum % of Any One Species
20 P. omorika / 107 Total Trees = 18.7%

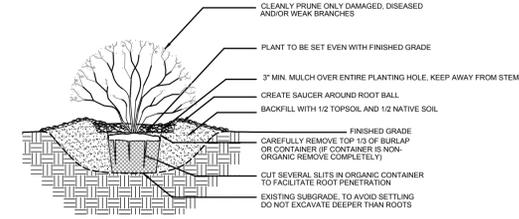
NOTES:
1. THIS PLAN TO BE USED FOR LANDSCAPE PURPOSES ONLY.
2. SEE SHEET LP-1 FOR OVERALL LANDSCAPE PLAN.

Required	Proposed
12 Shade Trees + Shrubs & Groundcover	16 Shade Trees 27 Shrubs 130 Groundcover Shrubs
1 Street Tree	1 Street Tree
9 Trees 45 Shrubs	9 Trees 45 Shrubs
11 Canopy Trees 22 Understory Trees 22 Evergreen Trees	12 Canopy Trees 24 Understory Trees 27 Evergreen Trees
No specific quantities	35 Evergreen Shrubs 30 Groundcover Shrubs
15 Canopy Trees 189 Shrubs	13 Canopy Trees 189 Shrubs 5 Evergreen Trees
6 Tree Species	12 Tree Species
20% Max	19%



NOTES:
1. DO NOT DAMAGE MAIN ROOTS OR ROOT BALL WHEN INSTALLING TREE STAKE.
2. WATER THOROUGHLY AFTER INSTALLATION.
3. REMOVE STAKES TWO YEARS OR LESS AFTER INSTALLATION.
4. CONTRACTOR IS NOT TO USE TREE WRAP.

NOTES:
1. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
2. WATER THOROUGHLY AFTER INSTALLATION.
3. REMOVE STAKES TWO YEARS OR LESS AFTER INSTALLATION.



NOTES:
1. WATER THOROUGHLY AFTER INSTALLATION.
2. FOR PLANTING BED INSTALLATION EXCAVATE ENTIRE SHRUB BED AS SHOWN ON PROJECT DRAWINGS.

SEED MIX SPECIFICATION FOR RAIN GARDEN - ERNMX 180

%	Common Name	Scientific Name
22%	Little Bluestem, FIG PA Ecotype	(Schizachyrium scoparium, FIG PA Ecotype)
14%	River Oats, PA/VA Ecotype blend	(Chasmanthium latifolium, PA/VA Ecotype blend)
10%	Riverbank Wild Rye, PA Ecotype	(Elymus riparius, PA Ecotype)
5%	Black Eyed Susan, CP NC Ecotype	(Rudbeckia hirta, CP NC Ecotype)
5%	Marsh (Dense) Blazing Star (Spiked Gayfeather)	(Liatris spicata)
5%	Purple Coneflower	(Echinacea purpurea)
5%	Fox Sedge, PA Ecotype	(Carex vulpinoidea, PA Ecotype)
5%	Squarrose Sedge, VA Ecotype	(Carex squarrosa, VA Ecotype)
4%	Wild Senna, VA & WV Ecotype	(Senna hebecarpa (Cassia h.), VA & WV Ecotype)
4%	Tall White Beard Tongue, PA Ecotype	(Penstemon digitalis, PA Ecotype)
3%	Golden Alexanders	(Zizia aurea)
2%	Lance Leaved Coreopsis, CP NC Ecotype	(Coreopsis lanceolata, CP NC Ecotype)
2%	Blue Vervain	(Verbena hastata)
2%	Swamp Milkweed, WI Ecotype	(Asclepias incarnata, WI Ecotype)
2%	Purple Bergamot, PA Ecotype	(Monarda media, PA Ecotype)
2%	Blue False Indigo, S WV Ecotype	(Baptisia australis, S WV Ecotype)
2%	New England Aster, PA Ecotype	(Aster novae-angliae (Symphyotrichum n.), PA Ecotype)
2%	Big Bluestem, 'Niagara'	(Andropogon gerardii, 'Niagara')
2%	Ohio Spiderwort, IA Ecotype	(Tradescantia ohioensis, IA Ecotype)
1%	Rough Avens, PA Ecotype	(Geum laciniatum, PA Ecotype)
1%	Autumn Bentgrass, APB	(Agrostis perennans, APB)
Total: 100%		

Notes:
1. Recommended coverage is 15lbs per acre.
2. Seed mix can be purchased from Ernst Conservation Seeds, Meadville PA 16335, 1 (800) 873-3321
3. Hand seeding is recommended and should take place between April 1st and May 15th or between September 1st and October 15th.
4. Immediately prior to seeding the soil is to be prepared so as to be free of large clods, evenly smooth, and level. A shallow tilling to a depth of 2 inches is acceptable to break up soils in which the surface has become crusted.
5. Planting areas shall be soaked to maintain a consistent level of moisture for at least four (4) to six (6) weeks after seeding.
6. After hand seeding, each area is to be rolled to push the seeds into firm contact with the soil and firm the seedbed. A firm seedbed is critical to proper seedling growth. Do not roll the site when the soil is wet. Wait until the soil is drier to avoid compaction. Alternatively a cultipacker could be used to ensure soil to seed contact. If seeding in the fall, this step is not required as the cumulative effect of rain and snow with numerous freeze/thaw cycles will provide the necessary soil to seed contact.
7. The seeding is to be mulched with North American Green S-150 BN (biodegradable erosion blanket) and secured with Bio-stakes (biodegradable anchors).

TOWNSHIP PLANT SCHEDULE

Quantity	Symbol	Scientific Name	Common Name	Planting Size
Parking Lot Landscaping				
8	⊕	Nyssa sylvatica	Blackgum	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
6	⊕	Zelkova serrata	Japanese Zelkova	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
2	⊕	Acer rubrum	Red Maple	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
27	⊕	Taxus x media 'Densiformis'	Dense Spreading Yew	30" ht. min., 15-18" sp., Cont.
130	⊕	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	#2 Container
Buffer Landscaping				
3	⊕	Acer saccharinum	Sugar Maple	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
3	⊕	Liriodendron tulipifera	Tulip Poplar	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
6	⊕	Quercus phellos	Willow Oak	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
15	⊕	Picea omorika	Serbian Spruce	8' ht. min., 4-5' sp., B&B
12	⊕	Picea abies	Norway Spruce	8' ht. min., 4-5' sp., B&B
12	⊕	Cercis canadensis	Redbud	8-10' ht., 4-5' sp., B&B
6	⊕	Amelanchier canadensis	Flowering Dogwood	8-10' ht., 4-5' sp., B&B
6	⊕	Cornus florida	Multi-stem Serviceberry	8-10' ht., 4-5' sp., B&B
15	⊕	Rhododendron 'White Cascade'	White Cascade Azalea	30" ht. min., 15-18" sp., Cont.
20	⊕	Rhododendron x 'Cunningham's White'	Cunningham's White Rhododendron	30" ht. min., 15-18" sp., Cont.
30	⊕	Cotoneaster horizontalis 'Perpusilla'	Compact Rock Cotoneaster	18" ht. min., 24" sp., Cont.
Street Frontage Landscaping				
1	⊕	Zelkova serrata	Japanese Zelkova	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
Building Foundation Landscaping				
6	⊕	Acer rubrum	Red Maple	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
9	⊕	Gleditsia triacanthos var. inermis 'Halka'	Halka Thornless Honeylocust	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
5	⊕	Picea omorika	Serbian Spruce	8' ht. min., 4-5' sp., B&B
30	⊕	Itea virginica 'Merlot'	Virginia Sweetspire	30" ht. min., 15-18" sp., Cont.
34	⊕	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	30" ht. min., 15-18" sp., Cont.
40	⊕	Ilex glabra 'Compacta'	Compact Inkberry	30" ht. min., 15-18" sp., Cont.
40	⊕	Ilex crenata 'Hellen'	Japanese Holly	30" ht. min., 15-18" sp., Cont.
19	⊕	Cornus sericea 'Bailey'	Bailey's Red Twig Dogwood	30" ht. min., 15-18" sp., Cont.
8	⊕	Rhododendron 'White Cascade'	White Cascade Azalea	30" ht. min., 15-18" sp., Cont.
8	⊕	Rhododendron x 'Cunningham's White'	Cunningham's White Rhododendron	30" ht. min., 15-18" sp., Cont.
10	⊕	Spiraea nipponica 'Snowmound'	Snowmound Spiraea	30" ht. min., 15-18" sp., Cont.
Detention Basin Landscaping				
5	⊕	Acer rubrum	Red Maple	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
4	⊕	Nyssa sylvatica	Blackgum	2 1/2" cal. min., 12-14"ht., 6-7"sp., B&B
10	⊕	Clethra acuminata	Summersweet	30" ht. min., 15-18" sp., Cont.
10	⊕	Cornus sericea 'Bailey'	Bailey's Red Twig Dogwood	30" ht. min., 15-18" sp., Cont.
10	⊕	Ilex glabra	Inkberry	30" ht. min., 15-18" sp., Cont.
15	⊕	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	30" ht. min., 15-18" sp., Cont.
8,927SF	⊕	Ernst Native Detention Area Seed Mix #183	See Detention Seed Mix Note on this Sheet	
Raingardens				
9,400SF	⊕	Ernst Rain Garden Seed Mix #180	See Raingarden Seed Mix Note on this Sheet	
Other Landscaping				
72,000SF	⊕	Seeded Grass Area		

NOTE: ALL DISTURBED AREAS ARE TO BE FINE GRADED, RAKED AND SEEDED. CONTRACTOR IS TO VERIFY SEEDING QUANTITY PRIOR TO BID.

Native Detention Area Mix - Ernst Seed Company - ERNMX-183

Common Name	Scientific Name
25.00% Deer Tongue, 'Tioga'	Panicum clandestinum
20.00% Fox Sedge	Carex vulpinoidea
20.00% Virginia Wild Rye	Elymus virginicus
15.00% Autumn Bentgrass	Agrostis perennans
15.00% Tiegrass (Rough Bentgrass)	Agrostis scabra
5.00% Path Rush	Juncus tenuis

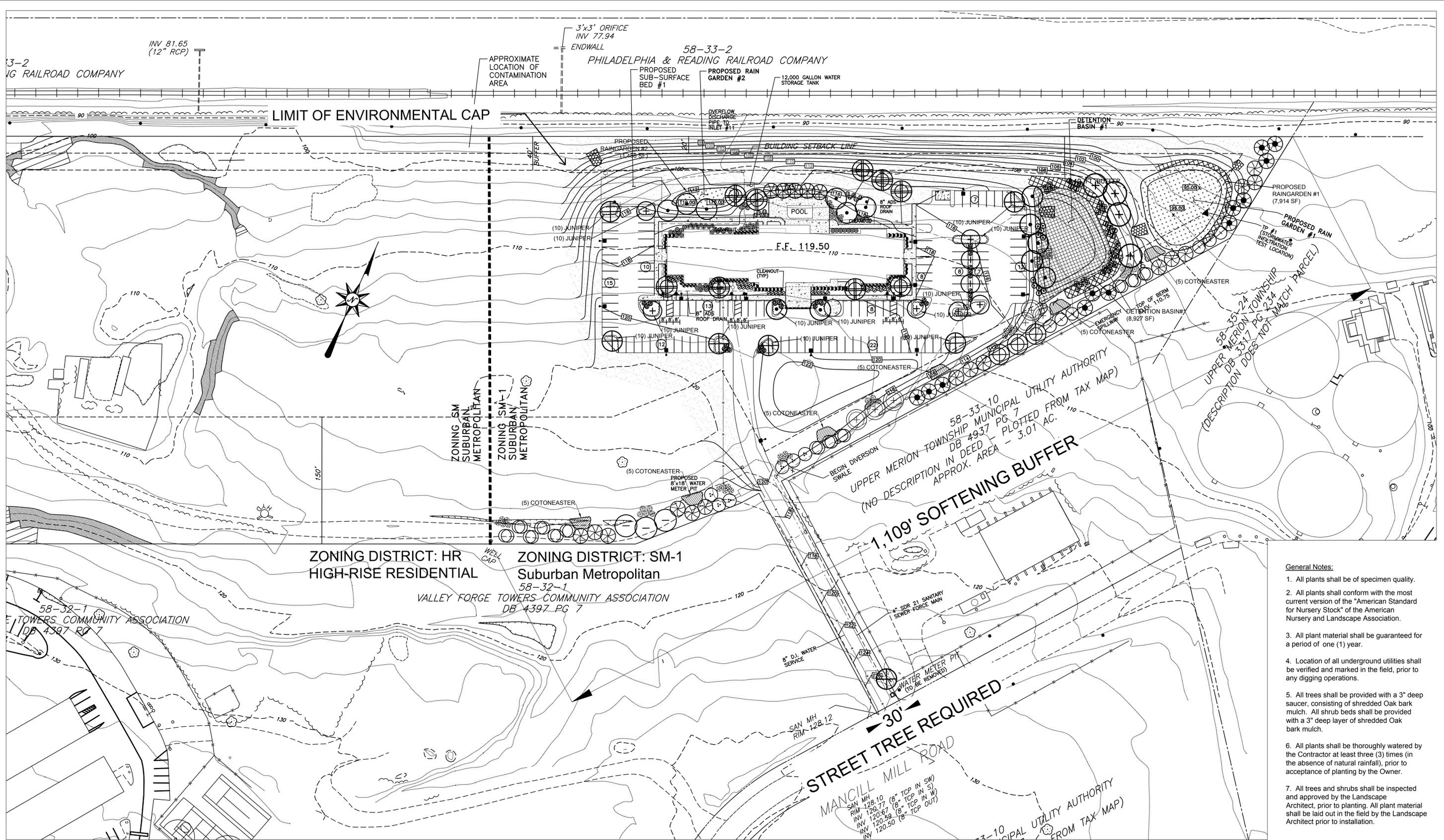
Site Preparation:
Invasive species, particularly those that will adapt to wet conditions, should be removed or sprayed before they become incorporated into the site. Normal vegetation can be worked into the topsoil, which should be stockpiled until the final grade has been established.

With the engineer's specifications and dimensions in hand, on-site construction of the berm and outlets must be executed carefully in order to maintain structural integrity. The infiltration and plant growth areas should be loose and friable, high in organic matter, and completed without compactors from heavy equipment. By using the "dig and drop" method, one can use an excavator to dig and drop each area of the bottom soil in a loose manner. At this point, one can incorporate lime, composted leaves, and/or grass clippings. The excavation machine does not move over the finished surface, thus avoiding unnecessary compaction. Native vegetation can be planted or seeded over this uneven, absorbent surface.

Seeding and Planting Methods:
Seeding and planting should begin immediately upon completion of the structure while the soil is still friable and before invasive weeds emerge. Plan seeding and planting before basin is flooded, or allow the basin to drain to a few inches before seeding. Broadcast seed evenly over each unit by hand seeding or hydroseeding. Seedinf rates are generally low (1/2 lb per 1,000 sq ft). The use of a seed filler, i.e., PAM-12, can be used to create a mix of 10 lb per 1,000 sq ft (i.e., 9-1/2 lb of PAM-12 mixed with 1/2 lb of seed), which can be broadcast evenly over the area. Barley, oats, or rye can provide temporary vegetation to protect the soil in storm water management facilities until permanent vegetation can be established. The use of native species; i.e., Virginia Wild Rye, can create an intermediate vegetative cover that succeeds to native long-term vegetation. Straw mulch or straw coconut mats are frequently used to control erosion and protect emerging seedlings from extreme temperatures and drying out. Mulch should be sparse to allow sunlight to reach the ground. Irrigation of seeded areas is of value until seedlings become established.

Notes: 1. Recommended seeding rate is 20 lb per acre, or 1/3-1/2 lb per 1,000 sq ft.
2. Seed mix can be purchased from Ernst Seed Company 1-800-873-3321.

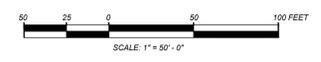
		850 MANCILL MILL ROAD UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA	REV #5 9-21-16 REV #4 6-30-16 REV #3 5-19-16 REV #2 11-16-15 REV #1 7-21-15
	860 First Avenue • Suite 98 • King of Prussia • PA • 19406 P 610 537 2100 • F 610 537 9839 • www.orsattistuart.com	TOWNSHIP LANDSCAPE PLAN	EMR PJS DATE 07-09-14



OVERALL LANDSCAPE PLAN

NOTES:
 1. THIS PLAN TO BE USED FOR LANDSCAPE PURPOSES ONLY.
 2. SEE SHEET LP-2 FOR NOTES, DETAILS, AND PLANT SCHEDULE.

- General Notes:**
1. All plants shall be of specimen quality.
 2. All plants shall conform with the most current version of the "American Standard for Nursery Stock" of the American Nursery and Landscape Association.
 3. All plant material shall be guaranteed for a period of one (1) year.
 4. Location of all underground utilities shall be verified and marked in the field, prior to any digging operations.
 5. All trees shall be provided with a 3" deep saucer, consisting of shredded Oak bark mulch. All shrub beds shall be provided with a 3" deep layer of shredded Oak bark mulch.
 6. All plants shall be thoroughly watered by the Contractor at least three (3) times (in the absence of natural rainfall), prior to acceptance of planting by the Owner.
 7. All trees and shrubs shall be inspected and approved by the Landscape Architect, prior to planting. All plant material shall be laid out in the field by the Landscape Architect prior to installation.



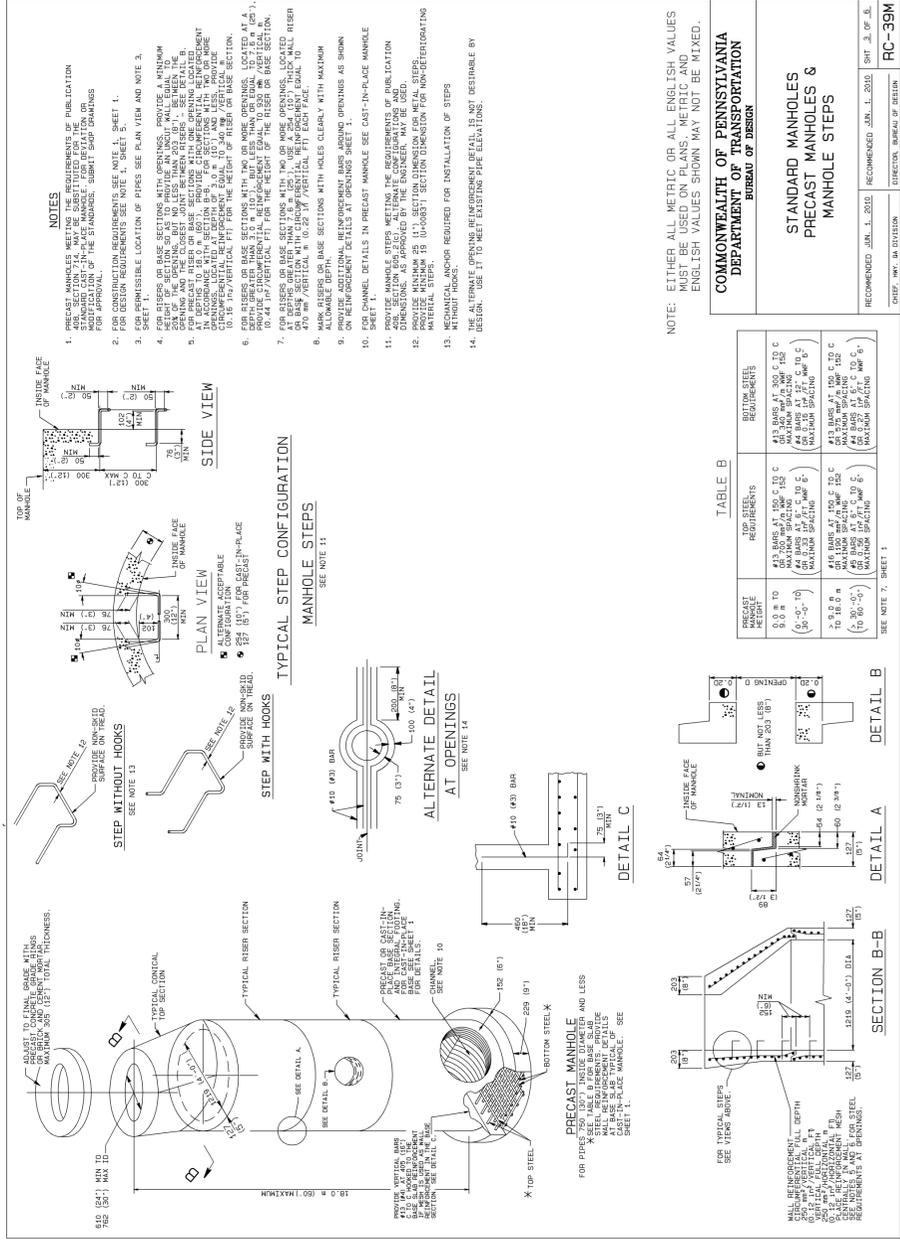
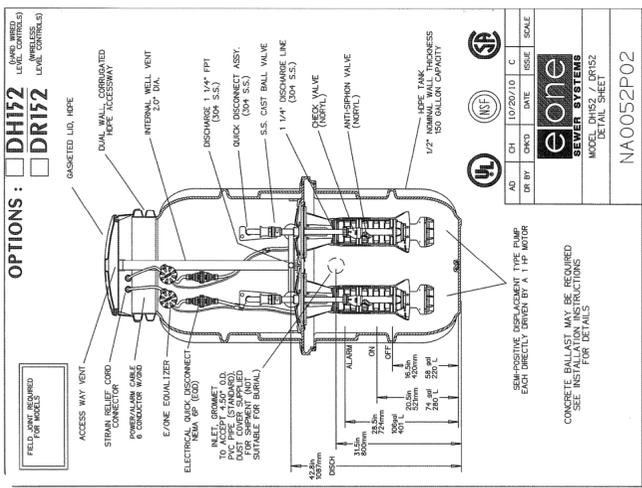
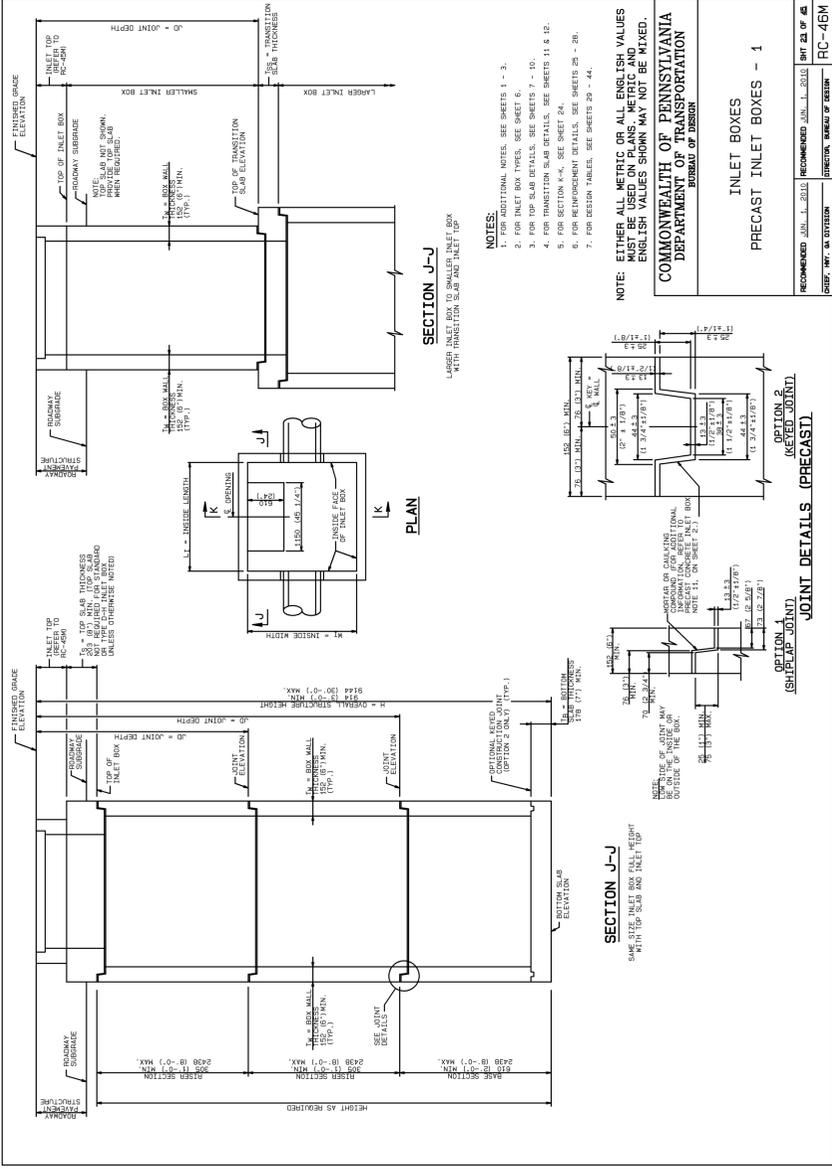
ORSATTI & STUART
 ASSOCIATES, INC.
 PLANNERS • LANDSCAPE ARCHITECTS
 860 First Avenue • Suite 9B • King of Prussia • PA • 19406
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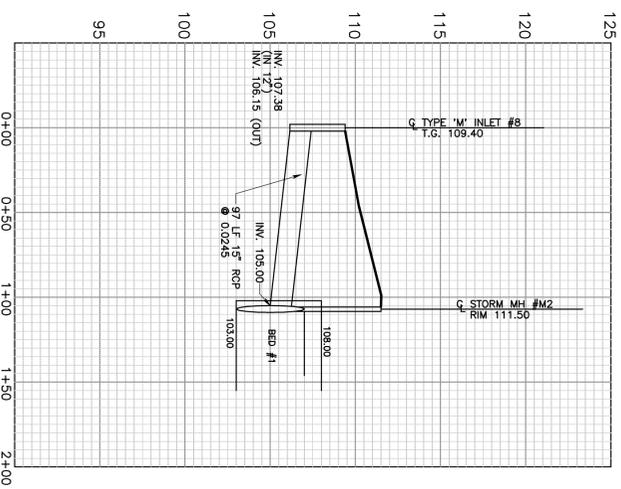
850 MANCILL MILL ROAD
 UPPER MERION TOWNSHIP
 MONTGOMERY COUNTY
 PENNSYLVANIA
 TOWNSHIP
 LANDSCAPE PLAN

REV #5	9-21-16
REV #4	6-30-16
REV #3	5-19-16
REV #2	11-10-15
REV #1	7-21-15

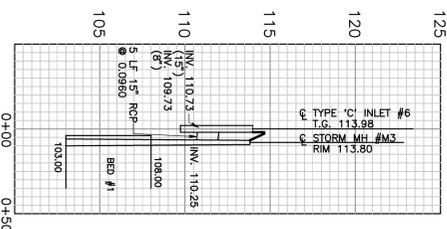
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DRAWN	PJS	DATE	07-09-14
CHECKED			
DATE			

LP-1
9 OF 14

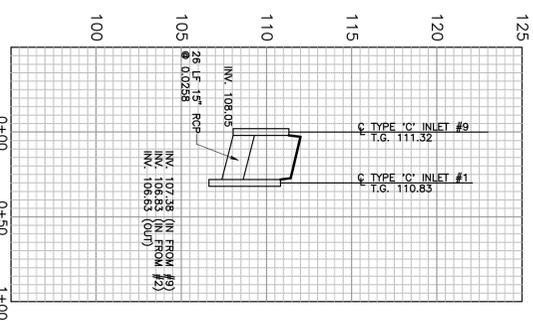




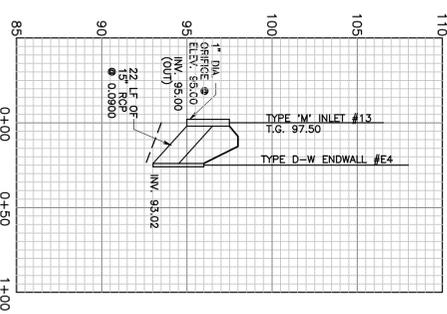
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V, 1"=5'



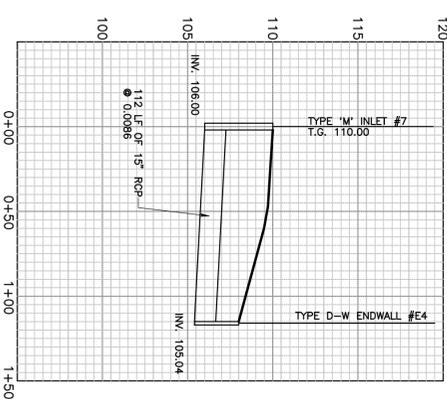
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V, 1"=5'



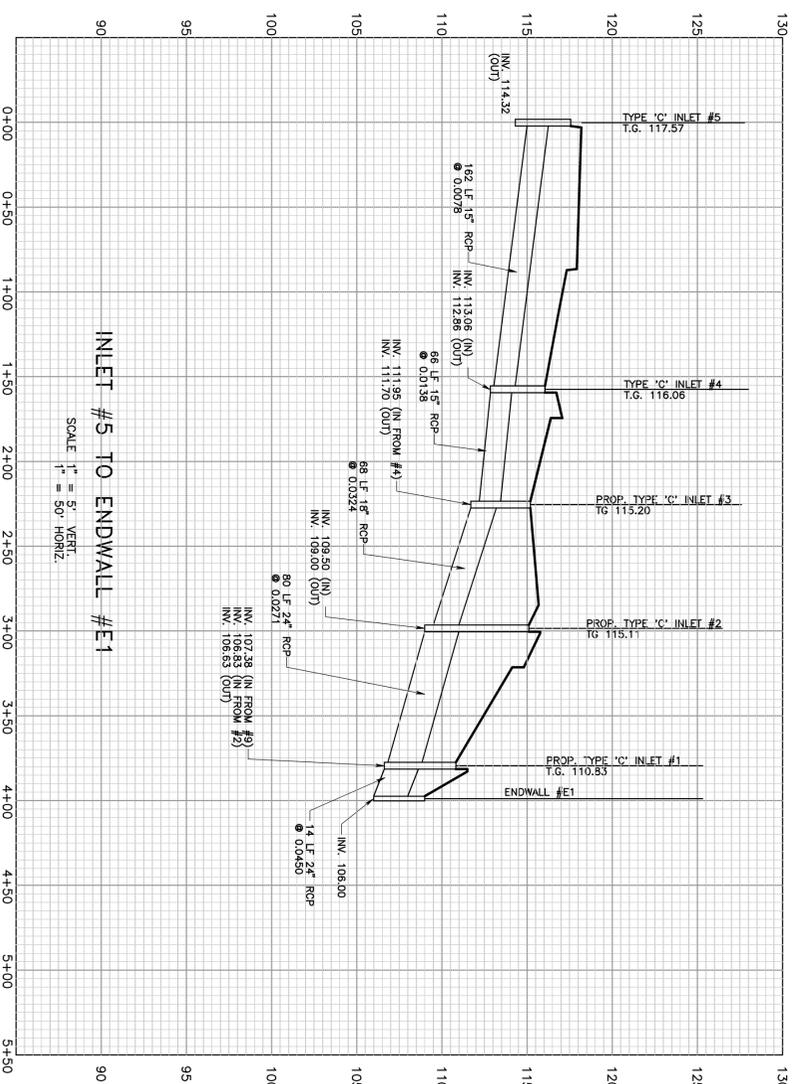
INLET #9 TO INLET #1
SCALE: H, 1"=50'
V, 1"=5'



INLET #13 TO ENDWALL #E4
SCALE: H, 1"=50'
V, 1"=5'



INLET #7 TO ENDWALL #E4
SCALE: H, 1"=50'
V, 1"=50'



INLET #5 TO ENDWALL #E1
SCALE: 1"=5' VERT.
1"=50' HORIZ.



INLET #4 TO INLET #1
SCALE: 1"=5' VERT.
1"=50' HORIZ.

**FINAL
PROFILE SHEET**

4	9-21-16	REVISED PER MCOB COMMENTS IN 9-10-16 REVIEW LETTER
3	5-19-16	REVISED PER TWP CONSULTANT REVIEW LETTERS DATED 3-31-16 & 4-25-16
2	11-16-15	REV. MODIFIED LAYOUT
1	5-14-15	REVISED PER TWP ENGR REVIEW LETTER DATED 10-3-14

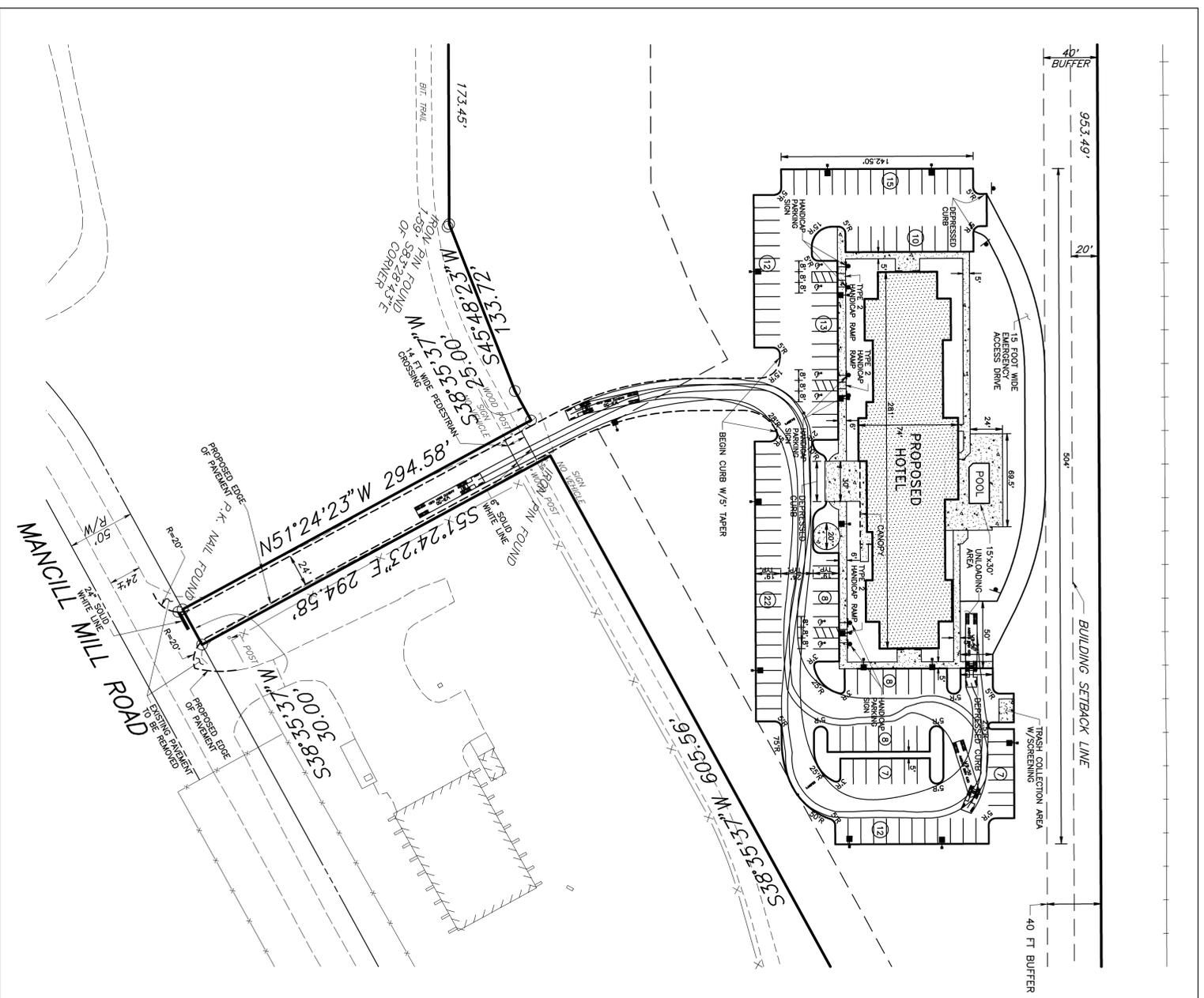
LAND DEVELOPMENT PLAN

MANCILL MILL ROAD COMPANY

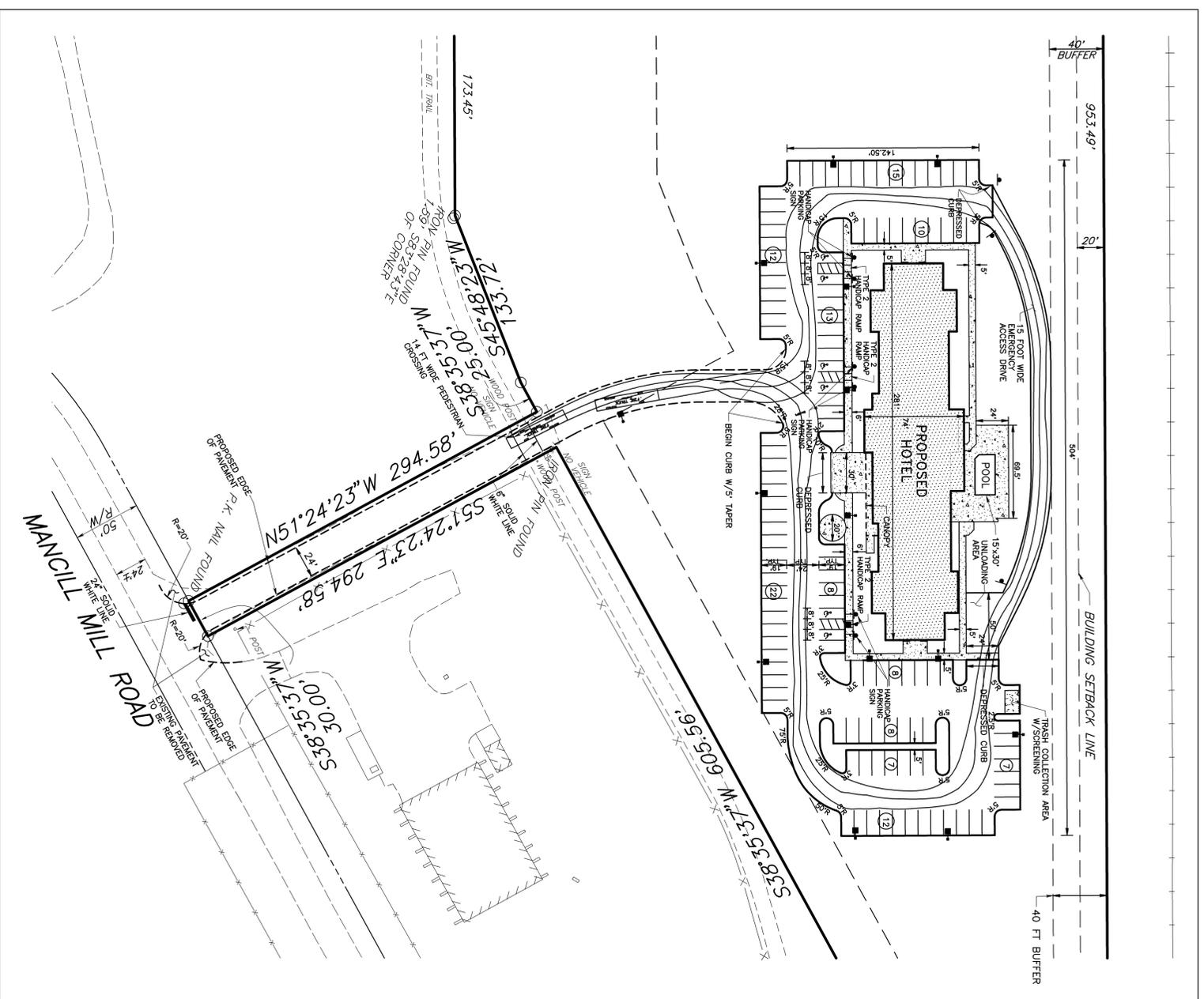
UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PA
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
1251 Dowlins Forge Road
Farmingdale, PA 15110
Phone (610) 803-0080
Fax (610) 903-0080



Project-	3755
Date-	7-9-14
Scale-	N/A
Drawn-	SLM
Checked-	AJB
Sheet-	14 OF 14
Year-	000



WB-50 TRUCK TURNING



FIRE TRUCK TURNING

**FINAL
TRUCK TURNING**

- 4 9-21-16 REVISED PER WOOD COMMENTS IN 9-10-16 REVIEW LETTER
- 3 5-19-16 REVISED PER TWP CONSULTANT REVIEW LETTERS DATED 3-31-16 & 4-25-16
- 2 11-16-15 REV. MODIFIED LAYOUT
- 1 5-14-15 REVISED PER TWP ENGR REVIEW LETTER DATED 10-3-14

LAND DEVELOPMENT PLAN

**FOR
MANCILL MILL ROAD COMPANY**

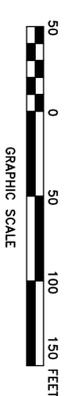
UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PA

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

1251 Dowlins Forge Road 93411
Farmingdale, NY 11735
Phone (610) 903-0080
Fax (610) 903-0080



Project: 3755
Date: 7-9-14
Scale: 1" = 50'
Drawn: SJM
Checked: AJB
Sheet: 1 OF 1
Year: 000



GRAPHIC SCALE

Plotdate: 10/28/2016 PLOT: E:\JUN\3755\3755-B10.ppt

